



**Planning & Zoning Commission
Town of Westlake**
Council Chamber, 1500 Solana Blvd
Building 7, Suite 7100 Westlake, TX 76262

Tuesday, September 2, 2025, 5:00 PM

Agenda

In an effort of transparency, this meeting will be viewable to the public via Live Stream and recorded and available for playback. In an effort of meeting efficiency, any individual wishing to speak during citizen comments or during public hearings must submit a speaker request form and provide to the Recording Secretary.

NOTE: As authorized by Section 551.071 of the Texas Government Code, the Planning and Zoning Commission may enter into closed Executive Session for the purpose of seeking confidential legal advice from the Town Attorney on any agenda item listed herein.

- A. CALL REGULAR MEETING TO ORDER AND ANNOUNCE A QUORUM PRESENT**
- B. PLEDGES OF ALLEGIANCE**
- C. APPROVAL OF MINUTES**
 - C.1. Consider and act to approve the Planning and Zoning Commission June 11, 2025 Regular Meeting Minutes
- D. CITIZEN COMMENTS**
- E. PUBLIC HEARINGS AND ACTION ITEMS**
 - E.1. Hold a public hearing to discuss, consider and act on a request for a specific use permit and a site plan to allow for a water and sewage pumping station that is located above grade, located at 16150 Roanoke Road, legally described as Tract 7F, Abstract 648, Huff, William Survey, HUFF, Town of Westlake, Tarrant County, Texas, zoned as PD3-9, Circle T Planning Area No. 9 – North Commercial Planned Development Zoning District (SUP Case No. 2025-01).
 - E.2. Hold a public hearing to discuss, consider and act on text amendments related to certain performance standards for approximately 85.9 acres of land in PD, Planned Development District 1-2 (“PD 1-2”), commonly referred to as Entrada, relating to architecture and other aesthetic matters found in Ordinance 703 and in the Entrada Design Guidelines. The property is generally located on the south side of State Highway 114, to the east of Davis Boulevard, and to the north of Solana Boulevard.
- F. COMMISSION ANNOUNCEMENTS**
- G. STAFF ANNOUNCEMENTS**

H. REVIEW MEETING CALENDAR TO ADD, AMEND OR CANCEL MEETINGS AS NEEDED

I. ADJOURNMENT

I certify that the above notice was posted on the bulletin board at Town of Westlake, Town Hall, located at 1500 Solana Blvd., Building 7, Suite 7100, Westlake, TX 76262, in compliance with the Texas Open Meetings Act, Chapter 551 of the Texas Government Code.

A handwritten signature in blue ink, appearing to read "Kian Payson".

Recording Secretary

Disabilities Notice: If you plan to attend the meeting and have a disability that requires special needs, please contact the Town Secretary's Office 48 hours in advance at Ph. 817-490-5711 and reasonable accommodations will be made to assist you.



Planning & Zoning Commission AGENDA ITEM REPORT

AGENDA ITEM NO: C.1.

Date: September 2, 2025

From: Planning and Dev

Item Name: Consider and act to approve the Planning and Zoning Commission June 11, 2025 Regular Meeting Minutes

Attachments:

1. 6.11.25 PandZ Draft Minutes

Summary:

Background:

Fiscal Impact:

Legal Review:

Planning and Zoning Commission:

Department of Planning and Development Recommendation:

The Department of Planning and Development recommends approval of the June 11, 2025 Regular Meeting Minutes.



Town of Westlake

1500 Solana Blvd
Building 7, Suite 7100
Westlake, TX 76262

Planning & Zoning Commission Committee Minutes - Draft

Wednesday, June 11, 2025

5:00 PM

Council Chamber

In an effort of transparency, this meeting will be viewable to the public via Live Stream and recorded and available for playback. In an effort of meeting efficiency, any individual wishing to speak during citizen comments or during public hearings must submit a speaker request form and provide to the Recording Secretary. Forms are available online, visit www.westlake-tx.org.

A. CALL TO ORDER AND ANNOUNCE A QUORUM PRESENT

Chair Coffey called the meeting to order at 5:20 PM and announced a quorum present.

COMMISSIONER KONZ-ALT WAS ABSENT.

B. PLEDGES OF ALLEGIANCE

Chair Coffey led the Pledges of Allegiance.

C. APPROVAL OF MINUTES

- C.1. 25-153** Consider and act to approve the Planning and Zoning Commission May 6, 2025 Regular Meeting Minutes

Motion to approve the May 6, 2025 minutes by Commissioner Wilkinson and Motion Second by Commissioner Gupta. Chair Coffey called for the vote.
Motion approved.

COMMISSIONER KONZ-ALT WAS ABSENT.

D. CITIZEN COMMENTS

There was no one to speak at this time.

E. PUBLIC HEARING AND ACTION ITEM

E.1. [25-164](#)

Hold public hearing, discuss, consider and act to recommend to the Town Council to adopt Ordinance 1024 amending Chapter 102, entitled "Zoning", and establishing Article IX, entitled "TC, Town Center Form-Based Development District", providing new regulations and rules for development within the Town of Westlake, Texas; providing a penalty; providing a cumulative clause; providing a severability clause; providing a savings clause; authorizing publication; and establishing an effective date (Jason Alexander, AICP, CEcD, Deputy Town Manager).

Deputy Town Manager Jason Alexander presented the item. The recently adopted Strategic Plan identifies the creation of a mixed-use zoning district as a priority to accelerate and to sustain the economic development efforts within the Town of Westlake. Accordingly, the proposed TC, Town Center Form-Based Development District intends to "provide predicable building regulations and building rules that support the development and redevelopment of urban space in the Town of Westlake that is attractive; that is walkable; and that provides a mix of residential experiences, commercial experiences, and civic experiences all in close proximity to each other leading to comfortable and pedestrian-friendly neighborhoods."

In addition to three town center zones - a building height waiver overlay district - is also proposed and it may only be applied to property mapped to the town center core zones that are located within 660 feet of State Highway 114 and/or State Highway 170. Concerning multi-family residential units, the total allocation allowance for the entire form-based development district is 400.

Chair Coffey opened the public hearing at 5:50 PM and closed the public hearing at 5:50 PM.

Discussion held. Motion to approve by Commissioner Didarali with the following conditions: That "Town Planner" be replaced with "Town Manager or their designee" throughout the text and that Section 102-412(G)(7)(iii) be revised to reflect the following language and to read as follows: "Multi-family residential units are expressly restricted to those mixed-use buildings that are at locations within the building height waiver overlay district. The first floor shall be confined to a commercial building function or to commercial building functions for a minimum depth of 40 feet. Parking may be located behind the building area allocated to the commercial building function or to the commercial building functions," and Motion Second by Commissioner Ricci. Chair Coffey called for a vote. The motion passed with suggested revisions.

COMMISSIONER KONZ-ALT WAS ABSENT.

F. COMMISSION ANNOUNCEMENTS

There were no Commission announcements.

G. STAFF ANNOUNCEMENTS

There were no staff announcements.

H. REVIEW MEETING CALENDAR TO ADD, AMEND OR CANCEL MEETINGS AS NEEDED

Staff will reach out to the Commissioners when a meeting is needed.

I. ADJOURNMENT

Chair Coffey adjourned the meeting at 5:51 PM.

Adam Coffey, Chair

ATTEST:

Recording Secretary

If you plan to attend this public meeting and have a disability that requires special needs, please advise the Town Secretary's Office 48 hours in advance at 817-490-5711 and reasonable accommodations will be made to assist you.



Planning & Zoning Commission AGENDA ITEM REPORT

AGENDA ITEM NO: E.1.

Date: September 2, 2025

From: Jason Alexander, Deputy Town Manager Planning and Dev

Item Name: Hold a public hearing to discuss, consider and act on a request for a specific use permit and a site plan to allow for a water and sewage pumping station that is located above grade, located at 16150 Roanoke Road, legally described as Tract 7F, Abstract 648, Huff, William Survey, HUFF, Town of Westlake, Tarrant County, Texas, zoned as PD3-9, Circle T Planning Area No. 9 – North Commercial Planned Development Zoning District (SUP Case No. 2025-01).

Attachments:

1. Site Plan Exhibit
2. Site Elevations
3. SUP Narrative
4. Existing Cade Branch Lift Station

Summary:

The Trinity River Association (“TRA”) is requesting a specific use permit and site plan approval to allow for and to operate a water and sewage pumping station (above grade). While the use is appropriate for the site and the general area, there are additional provisions for architecture and landscape architecture that are recommended to ensure the goals for development in PD3-9 are achieved. The Department of Planning and Development recommends approval of the specific use permit with the condition that the pumping station be enclosed on all sides by a screening wall constructed of full-depth natural stone or natural stone veneer.

Background:

BACKGROUND:

On September 14, 1998, the Town Council, then the Board of Alderman, approved Ordinance 307, which established the Circle T Ranch Planned Development Zoning District Number 3 (“PD3”) Supplement providing for various development provisions within the Circle T Ranch. On the same day, the Town Council, then too, the Board of Alderman, also approved Ordinance 315, which created PD, Planned Development District 3-9 (“PD3-9”) and related regulations for development. Ordinance 315 provides district development standards for the properties located in the PD3-9, including but not limited to, the allowed uses, height of the buildings, and minimum lot requirements.

DISCUSSION:

The purpose of PD3-9 is to “provide for a superior design of lots or buildings” as well as to ensure “an appropriate balance between the intensity of development and the ability to provide adequate supporting public facilities and services.” The eastern and the southeastern boundaries of PD3-9 provide visibility from State Highway 170; and the land use schedule found in PD3-9 supports a wide

range of land uses that are either permitted by-right or that require a specific use permit. The land use schedule, together with additional urban design standards, are intended to create an environment with a compatible mixture of activities capable of leveraging a highly visible location along State Highway 170.

Accordingly, the presence of a water and sewage pumping station (above grade) is a use that is compatible for the proposed location and the vision for the area that is reflected by the standards contained within PD3-9. However, the design (i.e., aesthetic) of a water sewage pumping station (above grade) should be compatible with the existing and future aesthetic of the State Highway 170 Corridor, as the Strategic Plan identifies this critical transportation corridor as a major focus of the economic development efforts of the Town of Westlake.

The Trinity River Association (“TRA”) is seeking a specific use permit and a site plan approval to allow for a water and sewage pumping station (above grade), that may be referred to as the Cade Branch Lift Station, to be built and operated. In PD3-9, water and sewage pumping stations that are located above grade require a specific use permit to be approved by Town Council. In addition, the ordinance requires a site plan for any development to be reviewed and approved by the Town Council. In accordance with the procedures of the Unified Development Code, as amended, the Town Council may authorize (i.e., approve) the issuance of a specific use permit after recommendations from the Town Planner and the Planning and Zoning Commission.

The Cade Branch Lift Station, if approved, will consist of:

- Below grade concrete lift station;
- Above grade electrical building;
- Above grade non-hazardous chemical storage tank;
- Above grade diesel powered standby generator;
- Above ground odor control system and; and
- Other appurtenances at the site such as paved access and site lighting.

The station will be used to move sewage and wastewater from a lower elevation to a higher elevation. As currently proposed, the site will be fenced with a split-face concrete masonry wall with controlled access gates --- and visually screened with landscaping outside of the proposed fence. An existing TRA lift station, located to the south at 14357 Roanoke Road, will be decommissioned and demolished if this specific use permit is approved.

It should be noted that, if the Cade Branch Lift Station is approved, that the facility must comply with all performance standards for development adopted by the Town of Westlake, as applicable. This includes, but is not limited to, all applicable provisions found within PD3-9.

Notwithstanding the requirements for landscaping found within PD3-9, the design of the proposed Cade Branch Lift Station should also meet heightened standards for architecture and landscape architecture considering its visibility from State Highway 170 and Roanoke Road --- as well as the future development envisioned and proposed for the surrounding area.

Fiscal Impact:

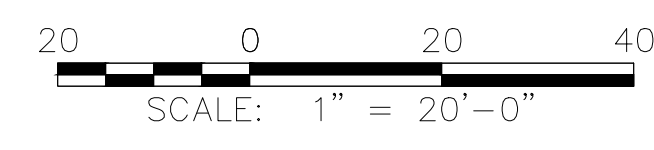
N/A.

Legal Review:

Planning and Zoning Commission:

Department of Planning and Development Recommendation:

The Department of Planning and Development recommends that the specific use permit and the site plan for the water and sewage pumping station (above grade) is approved, with the condition that a screening wall enclosing the station on all sides that is constructed of either full-depth natural stone material or natural stone veneer (i.e., a split face concrete masonry wall or other similar material that is faced with natural stone veneer that has a minimum depth of four inches). All fencing surrounding the water and sewage pumping station (above ground), whether required or provided, shall be inside of the required visual screening wall.



LEGEND

- GRAVITY SEWER INTERCEPTOR
- FORCE MAIN
- PERMANENT SANITARY SEWER EASEMENT
- TEMPORARY CONSTRUCTION EASEMENT
- ACCESS EASEMENT
- PROPERTY LINE
- CONCRETE
- PROPOSED TREES
- FLOODPLAIN

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
 CHRISTOPHER J. SWONKE
 TEXAS P.E. NO. 136494
 DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY



Trinity River Authority of Texas

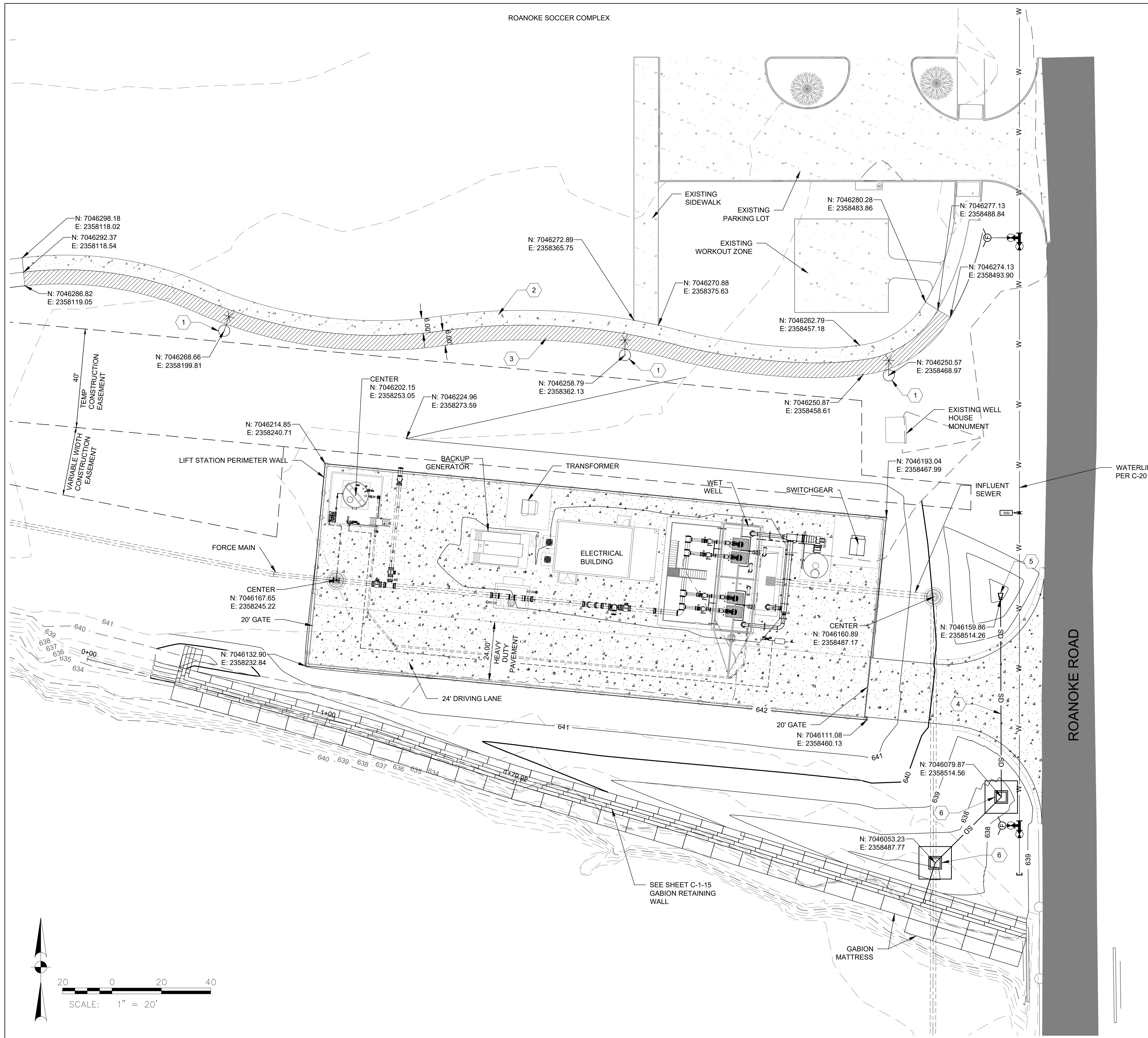
DENTON CREEK REGIONAL WASTEWATER SYSTEM

15CB-1 CADE BRANCH LIFT STATION, EAST LEG INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

LIFT STATION OVERALL SITE PLAN

DESIGN DAB	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS BER	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK CJS	CADD FILE NAME C-161 LS OVERALL SITE PLAN.dwg	SHEET NO. C-161
QM SCW	DATE JULY 2025	PAGE NO. 91

LIFT STATION SITE PLAN
 1"=20'-0"



KEYNOTES:

- 1 CONSTRUCT SALVAGED LIGHT POLE ON NEW FOUNDATION PER DETAIL 4/C-519
- 2 CONSTRUCT SIDEWALK PER DETAIL 1/C-518
- 3 CONSTRUCT DECOMPOSED GRANITE PATH PER DETAIL 3/C-519
- 4 CONSTRUCT 18" PCC STORM DRAIN PER DETAIL 11/C-518
- 5 CONSTRUCT 18" FLARED END SECTION PER DETAIL 1/C-519
- 6 CONSTRUCT 4'X4' STORM DRAIN INLET PER DETAIL 2/C-520

NOTE:

SEE PAVING PLAN FOR JOINT LAYOUT

LEGEND

- EXISTING ASPHALT PAVEMENT
- PROPOSED PCC
- EXISTING PCC
- DEMOLITION AREA
- DECOMPOSED GRANITE

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CHRISTOPHER J. SWONKE
TEXAS P.E. NO. 136494

DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY



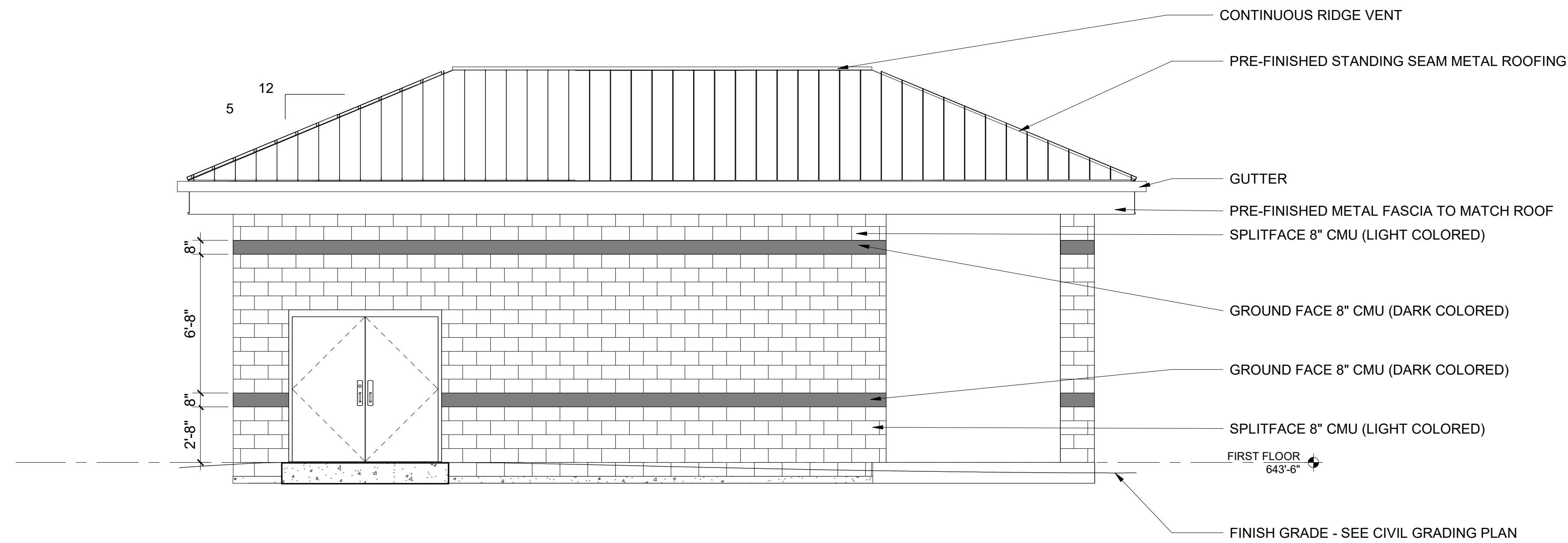
Trinity River Authority of Texas

DENTON CREEK REGIONAL WASTEWATER SYSTEM

15CB-1 CADE BRANCH LIFT STATION, EAST LEG INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

LIFT STATION CIVIL SITE PLAN

DESIGN DAB	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS BER	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK CJS	CADD FILE NAME C-163 LS CIVIL SITE PLAN.dwg	SHEET NO. C-163
QM SCW	DATE JULY 2025	PAGE NO. 93

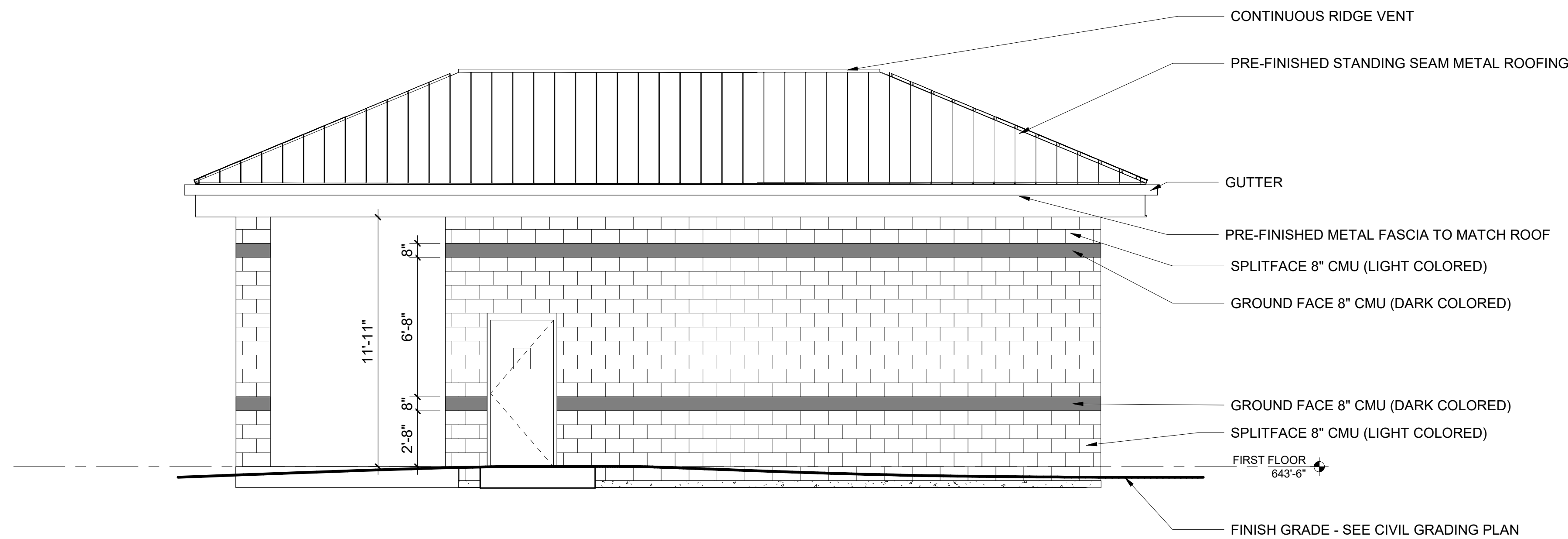


1 EAST ELEVATION
1/4" = 1'-0"

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.
RICHARD E. KIZER
TEXAS ARCH. No: 30684
DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY



2 WEST ELEVATION
1/4" = 1'-0"

Mead & Hunt
TBPELS FIRM NO. F-9593



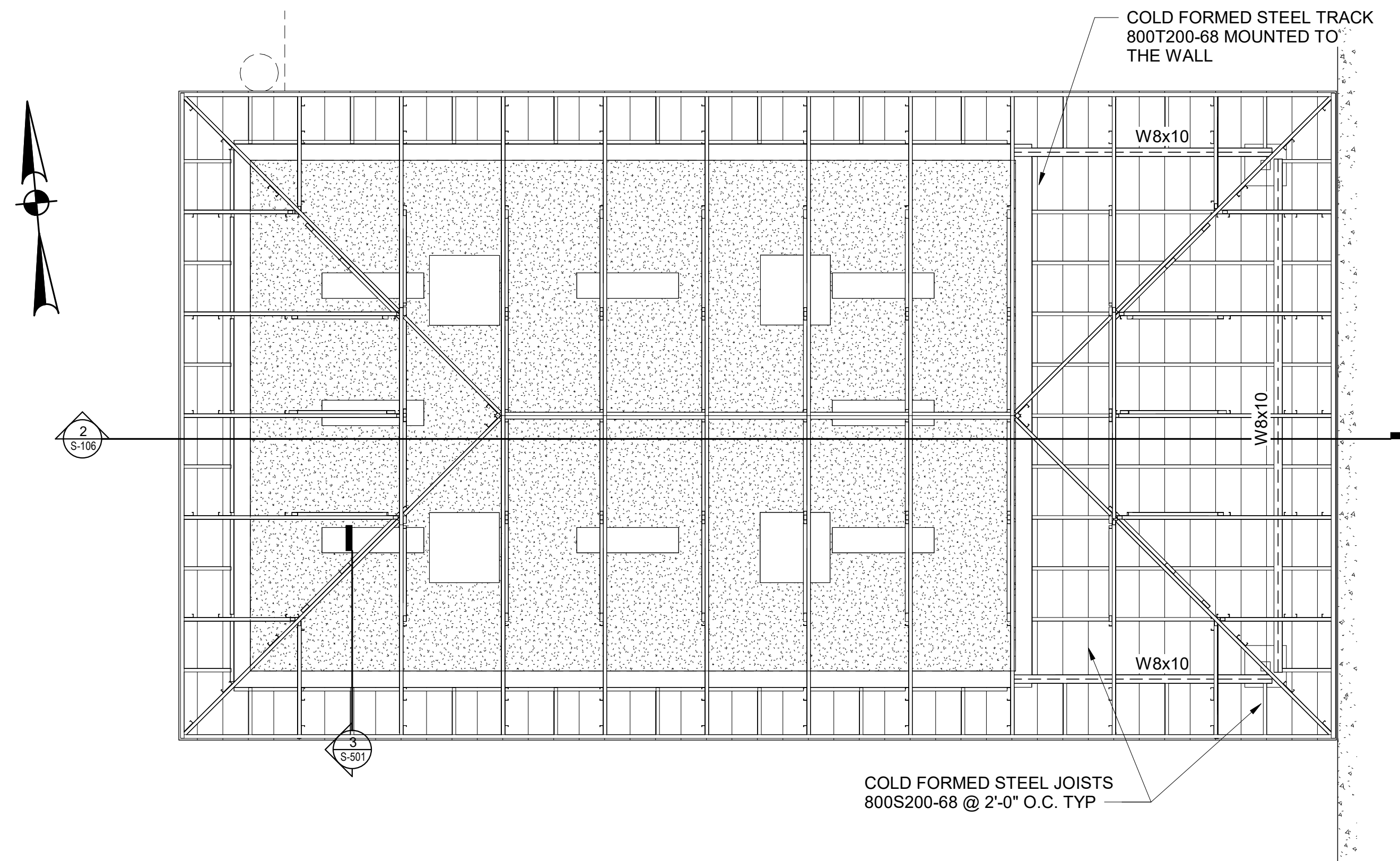
Trinity River Authority of Texas

DENTON CREEK REGIONAL WASTEWATER SYSTEM

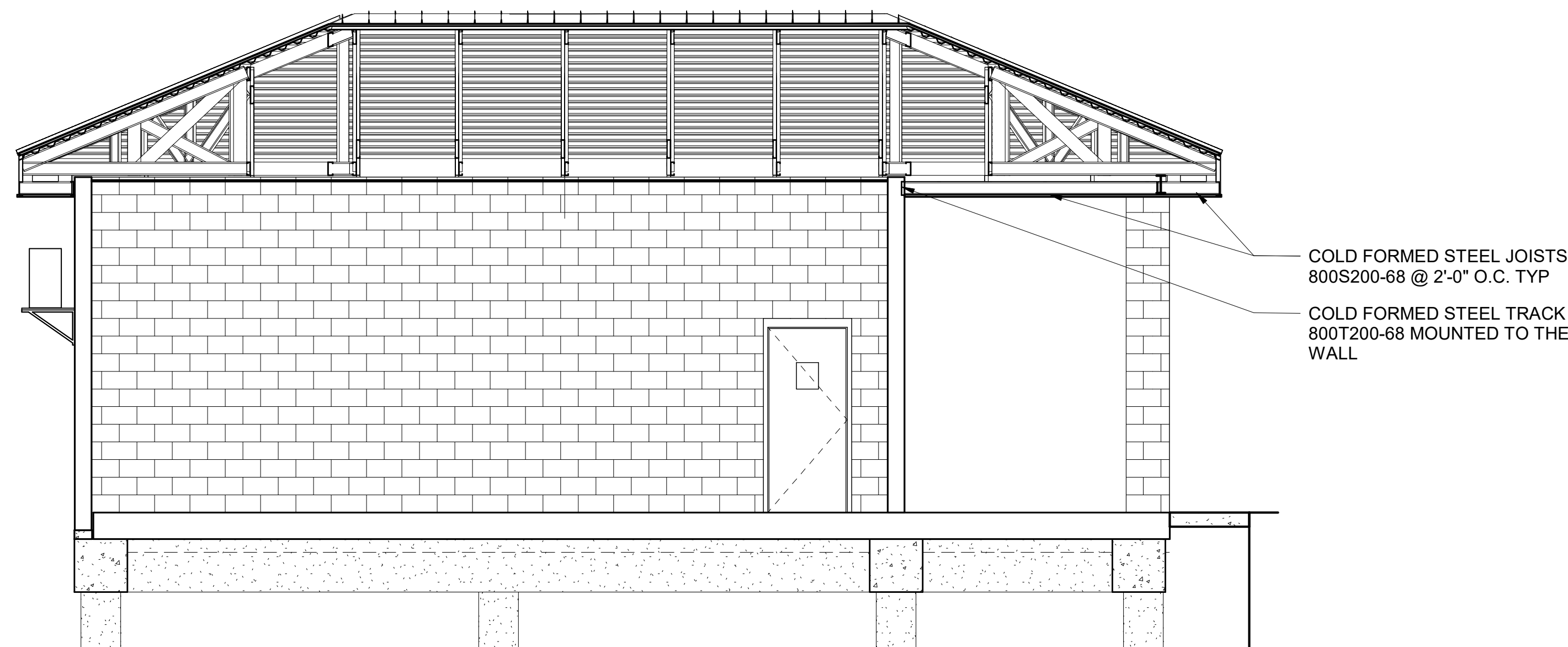
15CB-1 CADE BRANCH LIFT STATION, EAST LEG INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

ELEVATIONS

DESIGN REK	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS DGK	PROJECT ID NO. 4665627-221758.01	SYSTEM DCRWS
CHECK REK	CADD FILE NAME ARCHITECTURAL.rvt	SHEET NO. A-201
QM CSW	DATE JULY 2025	PAGE NO. 125



1 ELECTRICAL BUILDING ROOF FRAMING PLAN
1/4" = 1'-0"



2 ELECTRICAL BUILDING ROOF FRAMING SECTION
1/4" = 1'-0"

**ROOF FRAMING
PLAN GENERAL NOTES:**

- SITE DATUM OF FINISHED FIRST FLOOR INDICATED ON CIVIL SITE PLAN = ELEVATION 643'-6" ON STRUCTURAL DRAWINGS.
- FIELD VERIFY ALL DIMENSIONS, BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT/ENGINEER FOR FINAL DECISION.
- REFER TO SHEET S-001 FOR STRUCTURAL LEGENDS, ABBREVIATIONS, AND SYMBOLOLOGY.
- REFER TO SHEET S-601 FOR STRUCTURAL SCHEDULES.
- MINIMUM JOIST BEARING LENGTH REQUIREMENTS ARE AS FOLLOWS UNLESS NOTED OR DETAILED OTHERWISE:
 - A. AT MASONRY WALLS
 - "K" SERIES - MIN. 4"
 - "KCS" SERIES - MIN. 4"
 - "LH" SERIES - MIN. 6"
 - "DLH" SERIES - MIN. 6"
 - B. AT CONCRETE WALLS
 - "K" SERIES - MIN. 4"
 - "KCS" SERIES - MIN. 4"
 - "LH" SERIES - MIN. 6"
 - "DLH" SERIES - MIN. 6"
 - C. AT STEEL BEAMS
 - "K" SERIES - MIN. 2 1/2"
 - "KCS" SERIES - MIN. 2 1/2"
 - "LH" SERIES - MIN. 4"
 - "DLH" SERIES - MIN. 4"
- ROOF MEMBERS TO BE DESIGNED BY CONTRACTOR.

APPLICABLE LOADS:

SNOW LOAD: 3.5 PSF BALANCED LOAD
 ROOF LIVE LOAD: 20 PSF
 WIND LOAD: 13.75 PSF PEAK INTERNAL PRESSURE

THESE DOCUMENTS ARE FOR INTERIM REVIEW AND ARE NOT INTENDED FOR CONSTRUCTION, BIDDING, OR PERMIT PURPOSES.

JASON R. FROELICH
 TEXAS PE No. 149176

DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY



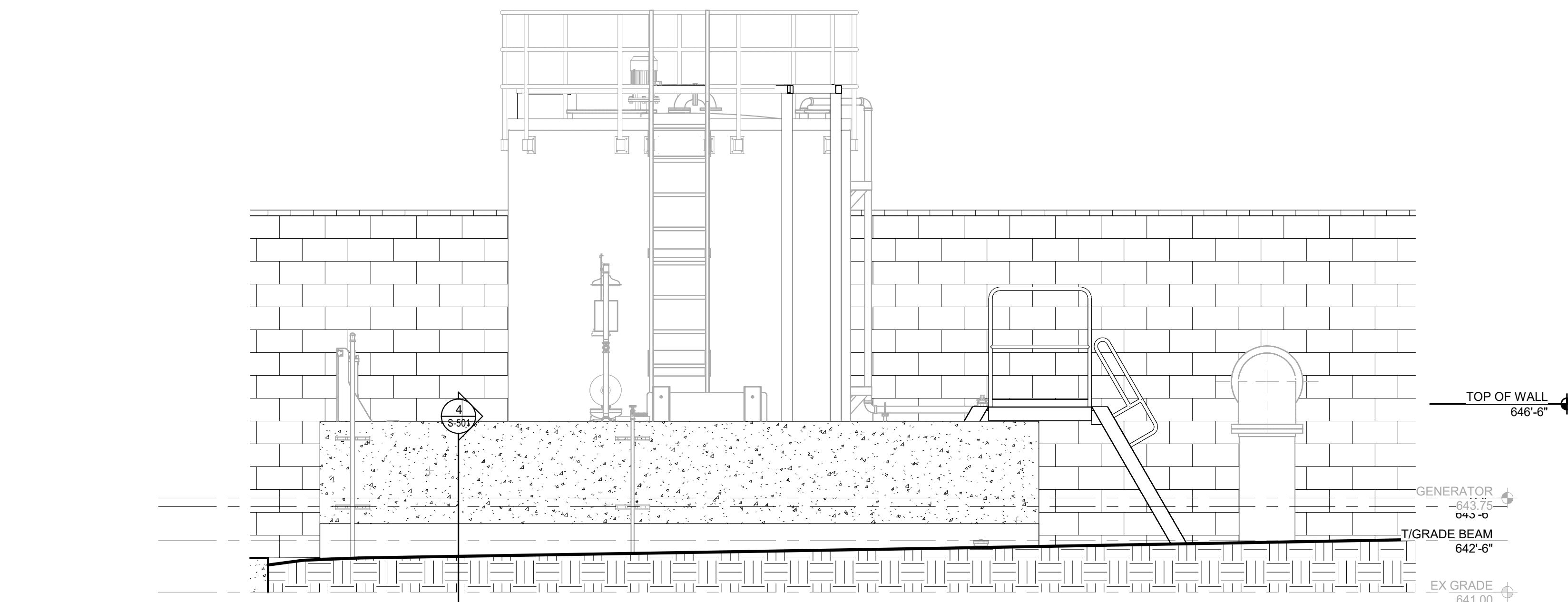
Trinity River Authority of Texas

DENTON CREEK REGIONAL
WASTEWATER SYSTEM

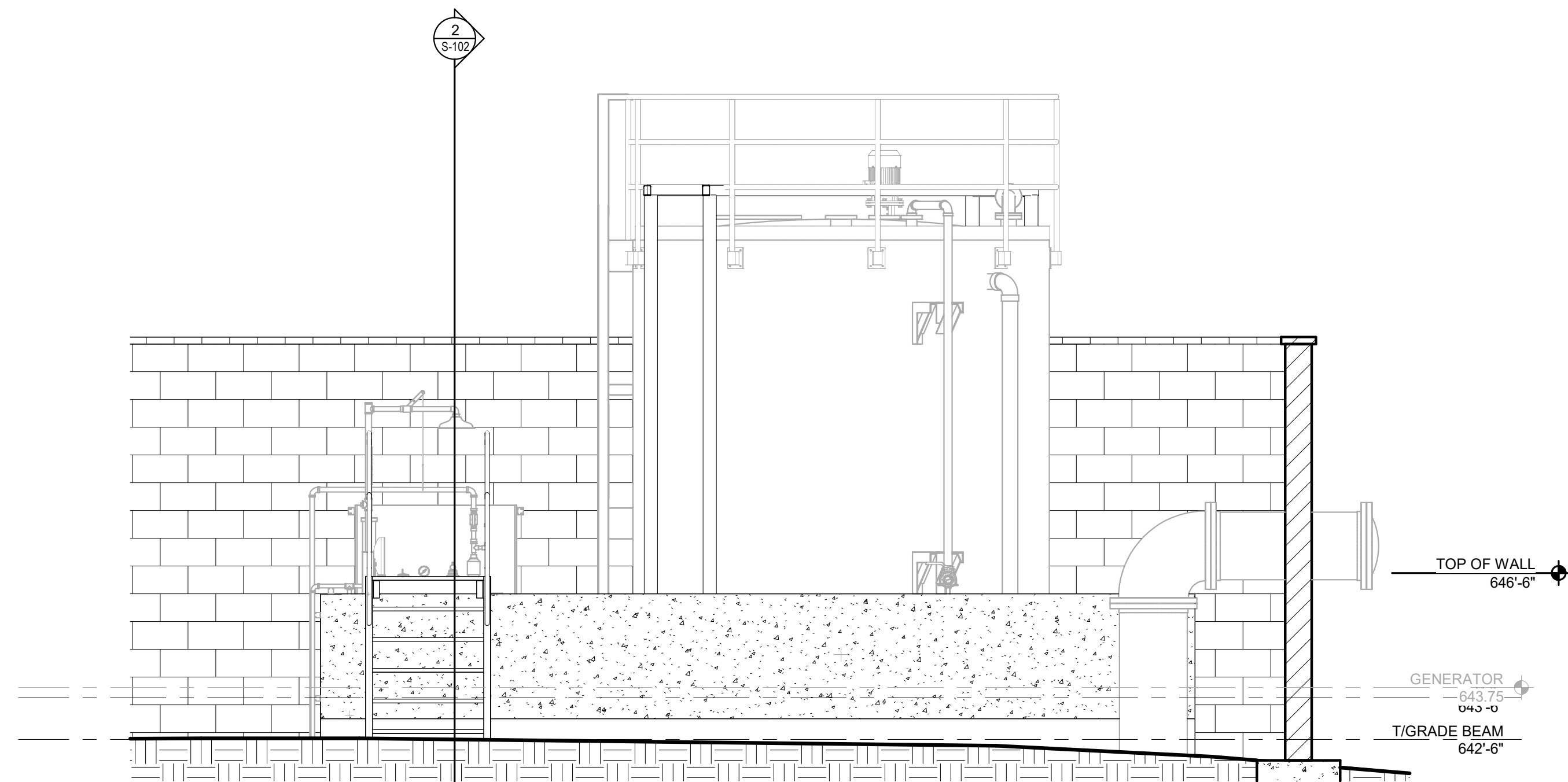
15CB-1 CADE BRANCH LIFT STATION, EAST LEG
INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

ENLARGED AREA
FRAMING PLAN AT
ELECTRICAL BUILDING
ROOF

DESIGN LRG	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS KDF	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK JRF	CADD FILE NAME STRUCTURAL.rvt	SHEET NO. S-106
QM SCW	DATE JULY 2025	PAGE NO. 138



1 ELEVATION
3/8" = 1'-0"



2 ELEVATION
3/8" = 1'-0"

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JASON R. FROELICH
TEXAS PE No: 149176
DATE: 07/31/2025
99% SUBMITTAL

REV	DATE	DESCRIPTION	BY



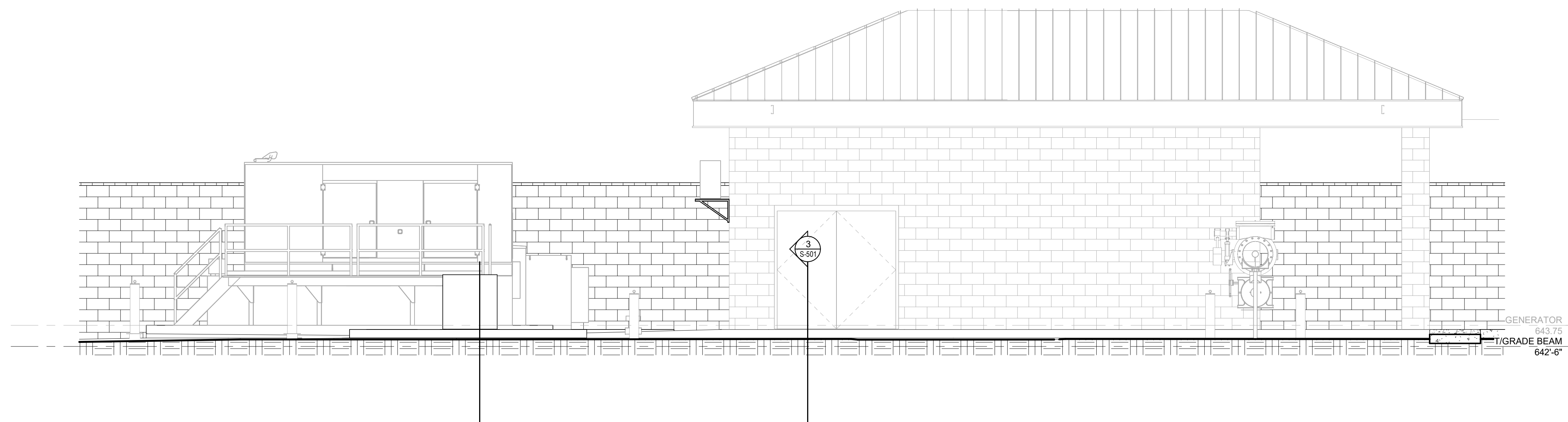
tra Trinity River Authority of Texas

DENTON CREEK REGIONAL WASTEWATER SYSTEM

15CB-1 CADE BRANCH LIFT STATION, EAST LEG INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

SITE ELEVATIONS I

DESIGN LRC	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS KDF	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK JRF	CADD FILE NAME STRUCTURAL.rvt	SHEET NO. S-201
QM SCW	DATE JULY 2025	PAGE NO. 139



1 ELEVATION
1/4" = 1'-0"

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JASON R. FROELICH
TEXAS PE No: 149176

DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY

Mead & Hunt
TBPELS FIRM NO. F-9593



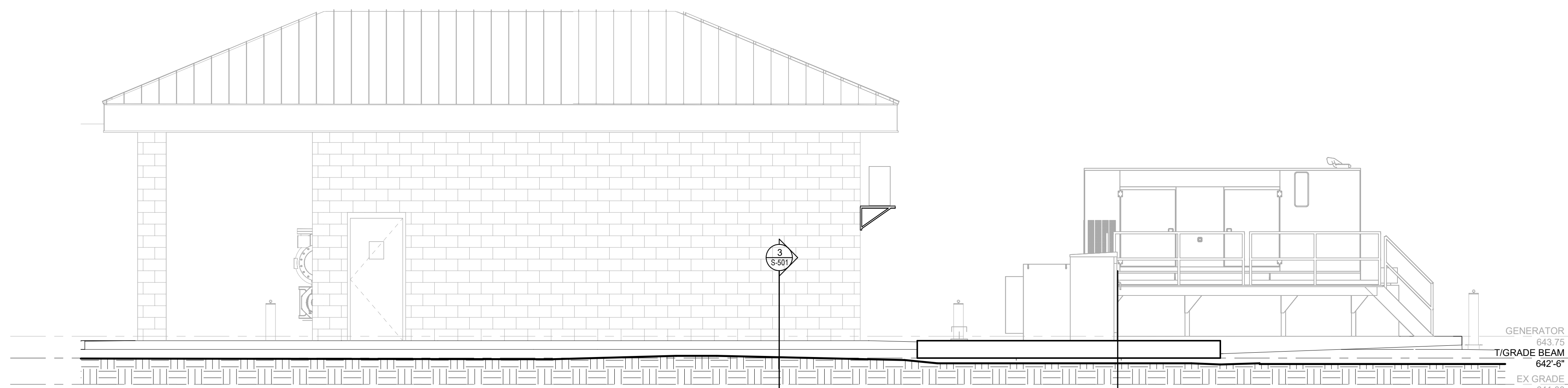
Trinity River Authority of Texas

DENTON CREEK REGIONAL WASTEWATER SYSTEM

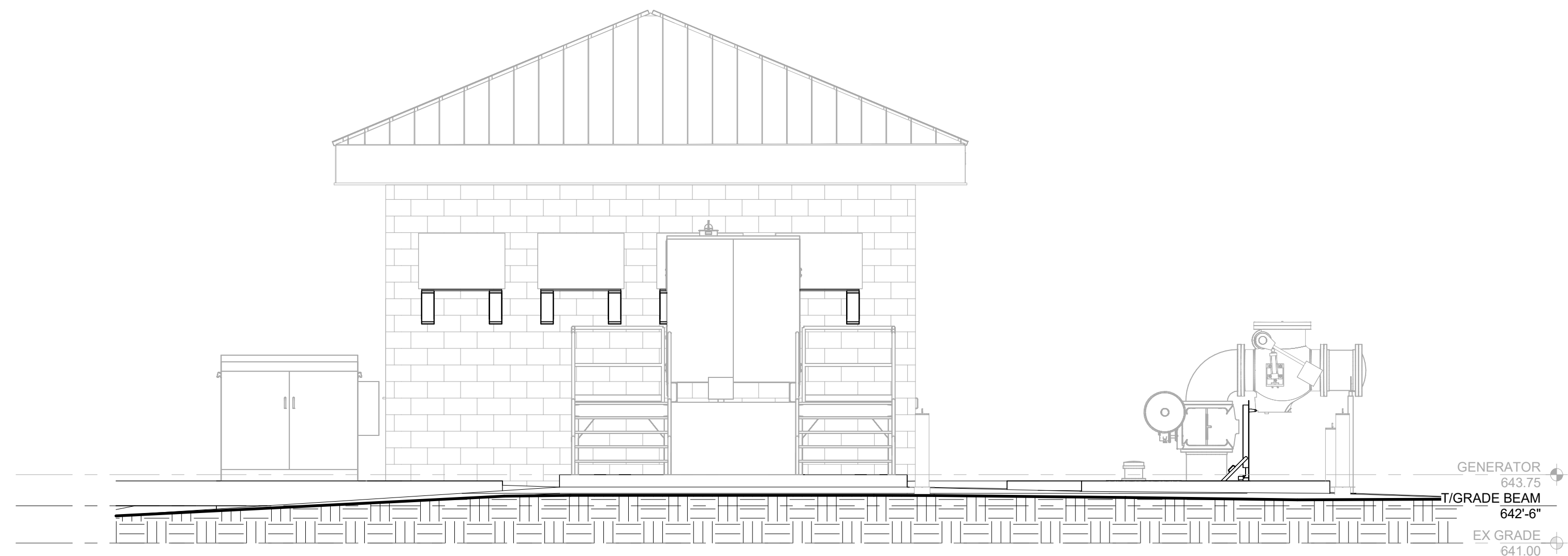
15CB-1 CADE BRANCH LIFT STATION, EAST LEG INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

SITE ELEVATIONS II

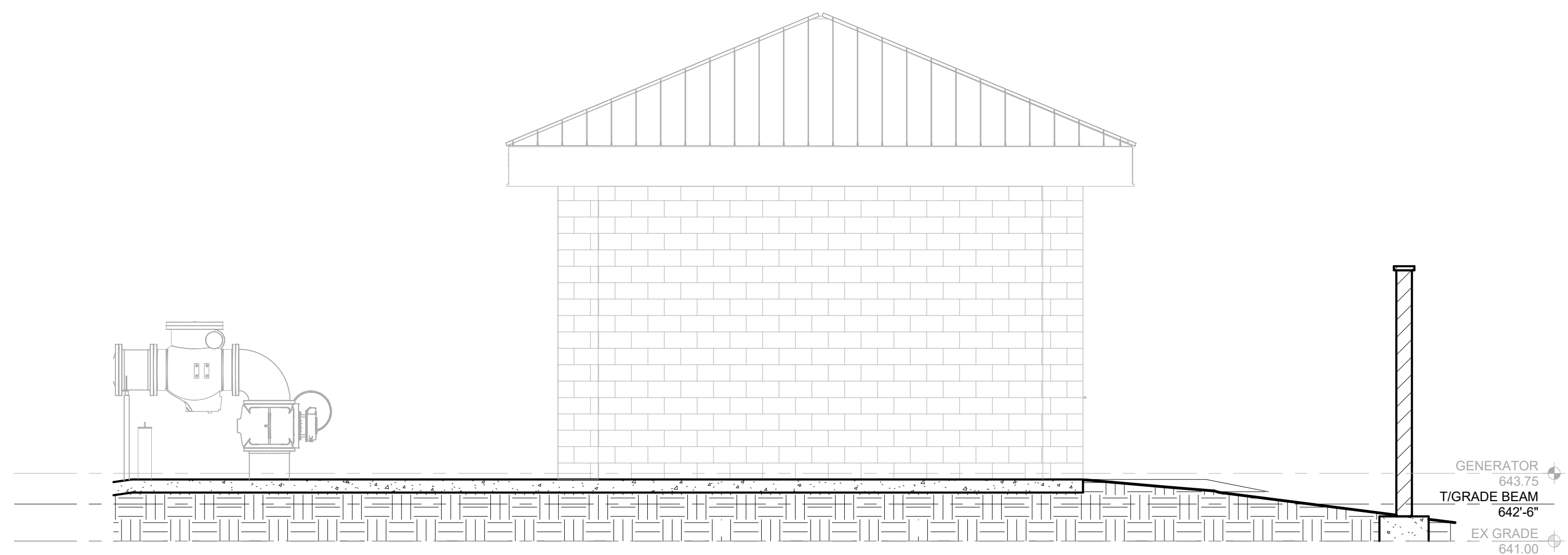
DESIGN LRC	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS KDF	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK JRF	CADD FILE NAME STRUCTURAL.rvt	SHEET NO. S-202
QM SCW	DATE JULY 2025	PAGE NO. 140



2 ELEVATION
1/4" = 1'-0"



1 ELEVATION
1/4" = 1'-0"



2 ELEVATION
1/4" = 1'-0"

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JASON R. FROELICH
TEXAS PE No: 149176

DATE: 07/31/2025

99% SUBMITTAL

REV	DATE	DESCRIPTION	BY

Mead & Hunt
TBPELS FIRM NO. F-9593



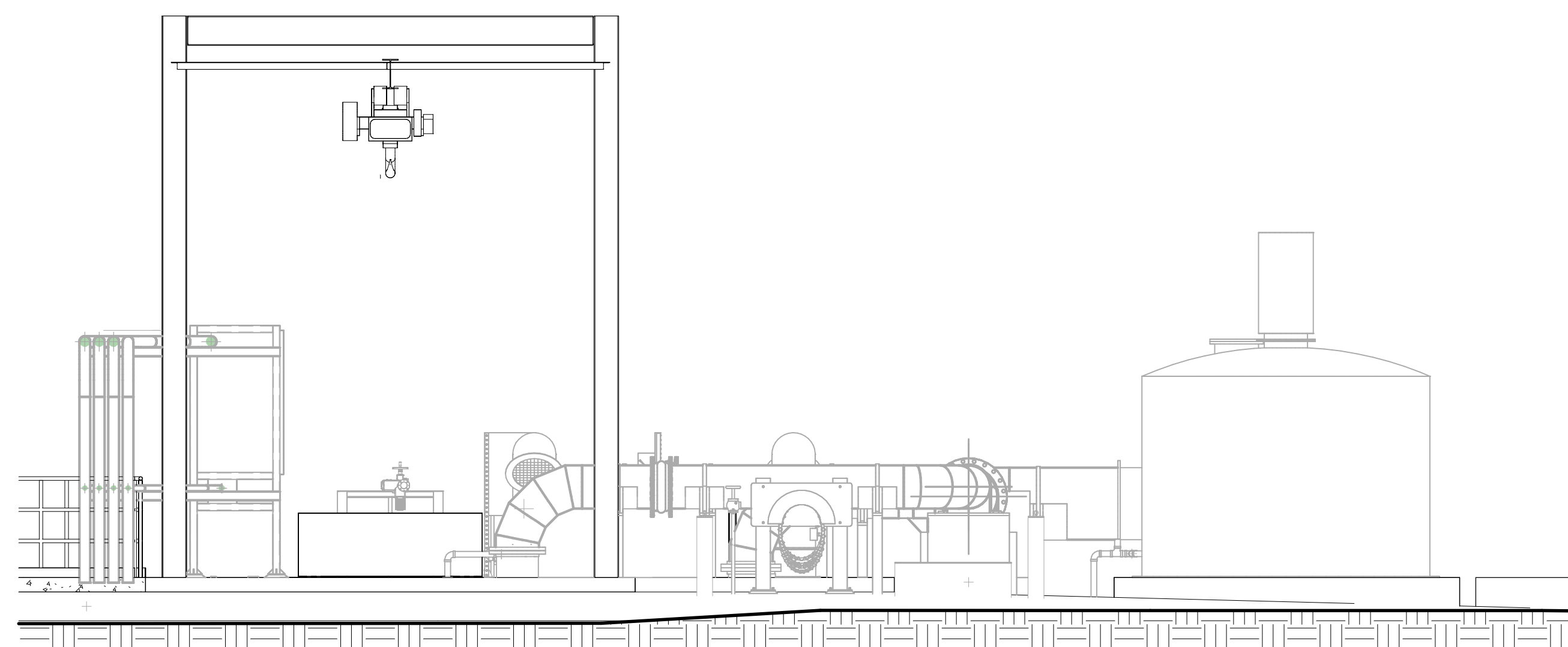
Trinity River Authority of Texas

DENTON CREEK REGIONAL
WASTEWATER SYSTEM

15CB-1 CADE BRANCH LIFT STATION, EAST LEG
INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

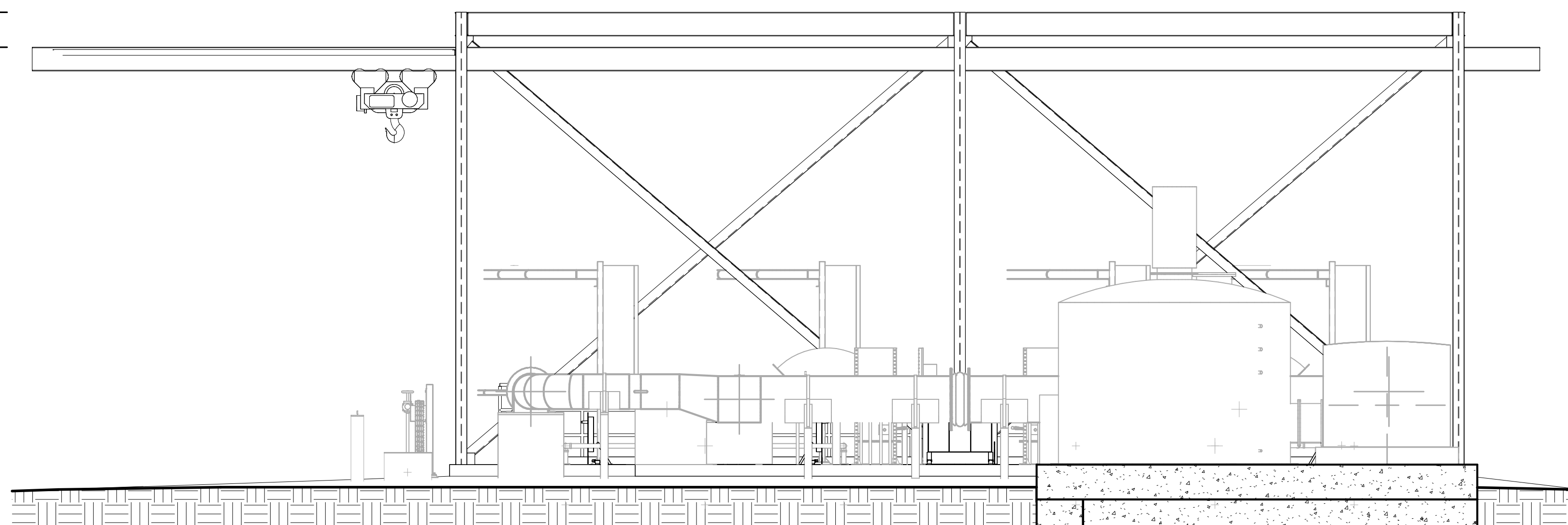
SITE ELEVATIONS III

DESIGN LRC	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS KDF	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK JRF	CADD FILE NAME STRUCTURAL.rvt	SHEET NO. S-203
QM SCW	DATE JULY 2025	PAGE NO. 141



1 ELEVATION
1/4" = 1'-0"

T.O. STEEL
663'-0"
T.O. CRANE RAIL
661'-6"



2 ELEVATION
1/4" = 1'-0"

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BIDDING, OR PERMIT PURPOSES.

JASON R. FROELICH
TEXAS PE No: 149176

DATE: 07/31/2025

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Mead & Hunt
TBPELS FIRM NO. F-9593



Trinity River Authority of Texas

DENTON CREEK REGIONAL
WASTEWATER SYSTEM

15CB-1 CADE BRANCH LIFT STATION, EAST LEG
INTERCEPTOR AND FORCE MAIN IMPROVEMENTS

SITE ELEVATIONS IV

DESIGN LRC	CONTRACT NO. 23-018	REGION NORTHERN
GRAPHICS KDF	PROJECT ID NO. 3828.2037	SYSTEM DCRWS
CHECK JRF	CADD FILE NAME STRUCTURAL.rvt	SHEET NO. S-204
QM SCW	DATE JULY 2025	PAGE NO. 142



July 01, 2025

Town of Westlake, Texas
15500 Solana Blvd, Bldg. 7, Ste 7200
Westlake, TX 76262

Subject: Trinity River Authority of Texas
DCRWS 15CB-1 Cade Branch Lift Station
Specific Use Permit – Narrative of Application

To whom it may concern:

The Trinity River Authority of Texas (TRA or Authority) intends to construct a collection system wastewater lift station, interceptor and force main at the Circle T Ranch and Hwy 170 Associates property near Roanoke Road and State Highway 170. This letter serves as the summary narrative of request in support of the Specific Use Permit.

The Cade Branch Lift Station will be located on the west side of Roanoke Road between SH170 and Parrish Lane, immediately south of the Roanoke Soccer Complex, and will consist of:

- Below grade concrete lift station
- Above grade electrical building
- Above grade non-hazardous chemical storage tank
- Above grade diesel powered standby generator
- Above grade odor control system and
- Other appurtenances at the site such as paved access and site lighting.

The site will be fenced with a split face concrete masonry wall with controlled access gates. Landscaping outside the fence will be provided.

This project will also include a gravity interceptor and force main. All facilities in this project will be constructed, inspected, owned and operated by the Authority. Hillwood, the current property owner, has been consulted at each stage of this project; Hillwood will convey the property and easements to TRA. The existing lift station, located at 14357 Roanoke Road, will be decommissioned and the property returned to Hillwood.

Please direct any questions on this project to me at james.mcmillen@meadhunt.com and to the TRA Project Manager, T. Jacob Rodgers, PE, at rodgerstj@trinityra.org.

Westlake SUP
Page 2

Sincerely,

MEAD & HUNT, Inc

James S. McMillen, PE
Senior Project Manager

cc: T. Jacob Rodgers, PE, Trinity River Authority of Texas



PROPERTY OF THE
TRINITY RIVER
AUTHORITY
UNAUTHORIZED ACCESS
IS PROHIBITED
VIOLATORS WILL BE
PROSECUTED
TRINITY RIVER
AUTHORITY
10000 W. STATE ST.
DALLAS, TX 75243
TEL: 972.969.1234
WWW.TRAUTORITY.COM

PROPERTY OF THE
TRINITY RIVER
AUTHORITY
UNAUTHORIZED ACCESS
IS PROHIBITED
VIOLATORS WILL BE
PROSECUTED

EPIC





Planning & Zoning Commission AGENDA ITEM REPORT

AGENDA ITEM NO: E.2.

Date: September 2, 2025

From: Jason Alexander, Deputy Town Manager Planning and Dev

Item Name: Hold a public hearing to discuss, consider and act on text amendments related to certain performance standards for approximately 85.9 acres of land in PD, Planned Development District 1-2 ("PD 1-2"), commonly referred to as Entrada, relating to architecture and other aesthetic matters found in Ordinance 703 and in the Entrada Design Guidelines. The property is generally located on the south side of State Highway 114, to the east of Davis Boulevard, and to the north of Solana Boulevard.

Attachments:

1. Text Amendment No. 2025-03 (PD Planned Development District 1-2 - DRAFT REDLINES)
2. Entrada Westlake Design Guidelines (Draft Amendments - 09.02.2025)

Summary:

The proposed amendments to the text of PD 1-2 Ordinance are consistent with recent amendments to other land development regulations and rules in the Unified Development Code.

Background:

BACKGROUND:

The proposed text amendments to the PD, Planned Development District 1-2 ("PD 1-2") Ordinance build upon the Strategic Plan --- adopted by the Town Council on February 18, 2025 --- and the Department of Planning and Development recommends approval of the proposed amendments as presented.

On April 22, 2013, the Town Council approved Ordinance No. 703, establishing PD 1-2. The purpose of PD 1-2 is to create an environment in which residential uses, commercial uses, and civic uses may co-exist in proximity while providing architecture and landscape architecture of an elevated character and quality.

On December 14, 2015, the Town Council approved Ordinance No. 760, establishing "detailed design guidelines" that are applicable to development in Entrada (the "Design Guidelines"). The Design Guidelines have not been revised since December 2015.

Although there have been subsequent amendments to Ordinance No. 703 (e.g., Ordinance No. 830, Ordinance No. 918, Ordinance No. 934, Ordinance No. 959, Ordinance No. 994, Ordinance No. 997, Ordinance No. 1001 and Ordinance No. 1022), with the last ordinance introducing new land uses (i.e., stacked flats) and additional considerations for architecture, there have not been complementary or supporting updates to the Design Guidelines.

As such, the subsequent amendments to Ordinance No. 703 were not always paired with possible amendments to Ordinance No. 760. Hence, the misalignment between the base provisions for architecture found in Ordinance No. 703 and the standards for architecture, landscape architecture, and other aesthetic matters found in the Design Guidelines and other development-related codes, ordinances, and regulations.

In collaboration with the Developer, the proposed text amendments are intended to align the architectural standards found in PD 1-2, as established by Ordinance No. 703, with those contained in the Design Guidelines established by Ordinance No. 760. Moreover, it is also the intent of the proposed amendments to PD 1-2 and the Design Guidelines to reinforce the distinct and iconic architecture of Entrada (e.g., Catalan Architecture and Southern European Architecture).

DISCUSSION:

The proposed text amendments to the PD 1-2 Ordinance and to the Design Guidelines --- as shown in the draft ordinance --- primarily focus on the following:

- Section 2. This section introduces new definitions for “Building Façade”, “Civic Space”, and “Principal Entrance”.
- Section 3. This Section removes the standards for architecture that are specifically related to stacked flats in their entirety (i.e., these standards are now contained within Section 11 of the PD 1-2 Ordinance).
- Section 4. This Section amends and introduces standards for architecture that are related to residential, non-residential, and mixed-use construction. In particular:
 1. Section 11.1 primarily advises that the standards for architecture, landscape architecture, and other aesthetic matters are reviewed together with those found in the Design Guidelines.
 2. Section 11.2 primarily advises that a site plan and building elevation review and approval is required by the Town prior to the issuance of any construction permit and building permit. This Section 11.2 also advises that any deviation request from the provisions of Ordinance PD 1-2 concerning matters of aesthetics are subject to review and recommendation by the Planning and Zoning Commission and approval by the Town Council.
 3. Section 11.3 introduces general standards for architecture (e.g., building façades, roofs, openings, attachments, et cetera) that are consistent with the same provisions found in the recently adopted TC, town center form-based development district.
 4. Section 11.4 clarifies that building elements that are not intended for human occupancy may exceed the building height limit by up to 20 feet.
 5. Section 11.5 clarifies the permitted exterior finish materials that may be used on building façades up to six (6) stories in height. Exterior finish materials that are above the sixth story are subject to review and recommendation by the Planning and Zoning Commission and approval by the Town Council.
 6. Section 11.6 introduces minimum standards for the architecture for shopfronts (i.e., a specific set of requirements for non-residential uses) to stimulate visual interest at the sidewalk level and provide a delineation between non-residential uses on the first story and uses on the upper stories. *(It should be noted that the previous Section 11.6 regarding awnings, canopies, awnings, and overhangs is proposed to be deleted).*
 7. Section 11.7 clarifies the locations and the orientations of principal entrances for principal buildings.
 8. Section 11.8 clarifies the requirements for building articulations and where the requirements for which building façades that such building articulations will be required.

9. Section 11.9 clarifies the requirements for the exteriors of parking structures and signage and other visual elements that are necessary to ensure the safety of motorists and pedestrians alike.
 10. Section 11.10 clarifies projections into the public rights-of-way and private rights-of-way and the architectural requirements for certain projections (e.g., awnings, balconies, canopies, pedestrian bridges, et cetera).
 11. Section 11.11 clarifies the performance standards for outdoor seating areas, outdoor serving areas, outdoor displays of merchandise, and other business-related activities in anticipation of forthcoming and future commercial activity within Entrada having the potential to spill out onto sidewalks. These provisions are similar to those that are found in the recently adopted TC, town center form-based development district.
 12. Section 11.12 clarifies the roofing materials for principal roofs and ancillary roofs, as well as the maximum pitches for sloped roofs and the minimum requirements for screening building mechanical equipment located on a low-slope (i.e., flat roof).
 13. Section 11.13 advises that all landscaped areas shall be maintained in good condition by the property owner and that all such landscaped area shall comply with the specific provisions set forth in the Design Guidelines and in the Unified Development Code. *(It should be noted that the previous Section 11.13 regarding non-residential exterior wall materials is proposed to be deleted).*
 14. Section 11.14 clarifies the materials used for gutters and downspouts.
 15. Section 11.15 clarifies that all residential, non-residential, and mixed-use construction projects within PD 1-2 shall conform to all standards for architecture, landscape architecture, and other matters of aesthetics set forth in Ordinance No. 703 as amended and in the Design Guidelines. Building permits will not be issued unless they are supported in writing, as applicable, from the homeowners' association or the property owners' association. *(It should be noted that the previous Section 11.15 regarding driveways and sidewalks is proposed to be deleted).*
- Section 5. This Section provides that the revised and the amended Design Guidelines are attached. The revisions and amendments to the Design Guidelines are coordinated with, and in alignment with the proposed amendments to the PD 1-2 Ordinance.

The proposed amendments to the text of PD 1-2 Ordinance are consistent with recent amendments to other land development regulations and rules in the Unified Development Code. Further, the proposed amendments to the text of PD 1-2 Ordinance and the Design Guidelines are coordinated to ensure that they can be interpreted and administered as a complete set of provisions for regulating and guiding development within Entrada.

Finally, these proposed amendments will support and reinforce the vision and the goals of the recently adopted Strategic Plan. It should be noted that the proposed text amendments were prepared by the Developer in collaboration with the Office of the Town Manager and the Department of Planning and Development.

Fiscal Impact:

N/A.

Legal Review:

Planning and Zoning Commission:

Department of Planning and Development Recommendation:

The Department of Planning and Development recommends approval of the text amendments to the PD 1-2 Ordinance and the Design Guidelines as presented.

ORDINANCE NO. [REDACTED]

AN ORDINANCE OF THE TOWN OF WESTLAKE, TEXAS, AMENDING ORDINANCE 703, WHICH APPROVED PLANNED DEVELOPMENT ZONING DISTRICT 1-2 (“PD 1-2”), FOR APPROXIMATELY 85.9 ACRE TRACT OF LAND GENERALLY LOCATED TO THE SOUTH OF STATE HIGHWAY 114, TO THE EAST OF DAVIS BOULEVARD, AND TO THE NORTH OF SOLANA BOULEVARD, THAT IS COMMONLY KNOWN AS “ENTRADA”, BY PROVIDING DEFINITIONS FOR “BUILDING FAÇADE” AND “CIVIC SPACE”, AND AMENDING CERTAIN STANDARDS THAT ARE RELATED TO ARCHITECTURE, LANDSCAPE ARCHITECTURE, AND OTHER AESTHETICS AND AS ADOPTED IN THE WESTLAKE ENTRADA DESIGN GUIDELINES; PROVIDING A PENALTY; PROVIDING A CUMULATIVE CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A SAVINGS CLAUSE; AUTHORIZING PUBLICATION; AND ESTABLISHING AN EFFECTIVE DATE.

WHEREAS, the Town of Westlake, Texas (the “Town”) is a general law municipality;
and

WHEREAS, the Town Council of the Town (the “Town Council”) finds it necessary for the public health, safety, and welfare for development to occur in a controlled and orderly manner in accordance with the Town’s Comprehensive Plan; and

WHEREAS, the Town Council adopted Ordinance 703 on April 22, 2013 establishing PD 1-2 to provide specific rules and regulations for developing an approximately 85-acre tract of land

that is generally located to the south of State Highway 114, to the east Davis Boulevard and to the north of Solana Boulevard; and

WHEREAS, the Town Council adopted Ordinance 760 on December 14, 2015, to provide additional standards for architecture, for landscape architecture and for other aesthetic matters in the Westlake Entrada Design Guidelines to reinforce Catalan Architecture in order to enhance and preserve the unique community identity; and

WHEREAS, the Town Council adopted Ordinance 1022 on May 20, 2025, which among other things, provided additional standards for architecture and other aesthetics for certain building types in Entrada; and

WHEREAS, the Town finds that amendments to the various ordinances directing and guiding the construction and the modification of buildings is in the best interests of the Town and will ensure that Entrada is a community that is regarded for its walkability, its mixture of activities and its architecture;

WHEREAS, the Planning and Zoning Commission and the Town Council of the Town, in compliance with the laws of the State of Texas with reference to amendments to PD 1-2 have given the requisite public hearing notices by publication and, after holding due meetings in accordance with the Texas Open Meetings Act, is of the general opinion that PD 1-2 should be amended; and

WHEREAS, the Planning and Zoning Commission held a public hearing on September 2, 2025, and reviewed and considered the proposed text amendments to certain provisions as set forth in PD 1-2, and provided a recommendation to the Town Council; and

WHEREAS, both the Planning and Zoning Commission and the Town Council recognize the need to add clarity to provisions of PD 1-2 established pursuant to Ordinance 703, as amended

subsequently by Ordinances 830, 918, 934, 959, 994, 997, 1001 and 1022 for the implementation of specific development vision and goals for Entrada.

WHEREAS, upon the recommendation of the Planning and Zoning Commission provided on September 2, 2025, the Town Council believes that, in the interests of the Town and its present and future residents, the developer, and the builder, adopting this Ordinance will help to accelerate the completion of Entrada as well as advance the economic development and physical development of the Town; and

WHEREAS, both the Planning and Zoning Commission and the Town Council recognize the need to add clarity to provisions of PD 1-2 established pursuant to Ordinance 703, as amended subsequently by Ordinances 830, 918, 934, 959, 994, 997, 1001 and 1022 for the implementation of specific development vision and goals for Entrada.

NOW, THEREFORE, BE IT ORDAINED BY THE TOWN COUNCIL OF THE TOWN OF WESTLAKE, TEXAS:

SECTION 1: That all matters stated in the preamble are found to be true and correct and are incorporated herein as if copied in their entirety.

SECTION 2: That Section 3.2 of Article I entitled “General Provisions” as provided in Ordinance No. 703, and amended by Ordinance 852, Ordinance 935 and Ordinance No. 1022, and that is entitled “Words and Terms Defined”, is hereby amended by inserting the following new terms “Building Façade”, “Civic Space” and “Principal Entrance”, and a definition for each term, in alphabetical order, to read as follows:

Building Façade means an exterior wall of a building.

Civic Space means an outdoor area that is dedicated for public use. A civic space may be or may not be privately owned and maintained, and a civic space may be or may not be located within this PD 1-2 (i.e., it may be located on an adjacent property and have a different zoning classification).

Principal Entrance means the main point of pedestrian access into a building.

SECTION 3: That Section 4.2 of Article II that is entitled “Uses” as provided in Ordinance No. 703, and amended by Ordinance No. 852, Ordinance No. 935 and Ordinance No. 1022, and that is entitled “Residential Condominiums”, is hereby amended to read as follows:

Section 4.2 Stacked flats: Stacked flats are allowed by-right and only in the areas as shown in Exhibit 6, subject to the following additional standards:

1. Stacked Flats are prohibited on the first floor; and shall be expressly limited to the upper floor(s) of the mixed-use buildings in which they are located.
2. Stacked Flats constructed on or after May 20, 2025 shall provide a minimum habitable area of 1,800 square feet.
3. The first floor for all principal buildings in which Stacked Flats are located shall be expressly limited to the non-residential uses that are either permitted by-right or permitted by approval of a SUP. Recommended or advised commercial uses on the first floor include:
 - a. a bakery;
 - b. a bistro;

- c. a café;
- d. a coffee shop;
- e. a corner market or a corner store;
- f. a dry cleaner;
- g. a pharmacy;
- h. a restaurant; and / or
- i. a destination or a neighborhood-oriented retail establishment.

~~4. All openings for doors and windows along building facades facing a street or open space be vertical in orientation and rectangular in proportion, except for shopfront display windows and transom windows.~~

~~5. The principal roofs for all buildings with stacked flats may be sloped or flat; where flat, the roof shall be surrounded on all sides by a horizontal parapet wall that is no less than 42 inches high where the roof deck meets the parapet wall.~~

~~a. All building mechanical equipment located on a flat roof shall also be visually screened from all sides by either an opaque screen enclosure or by parapet walls, either of which shall be at least 12 inches greater in height than the equipment.~~

6.4. The first floor for all principal buildings in which Stacked Flats are located shall be designed as a shopfront in which all the following architectural features and elements shall be provided as set forth in Section 11 of this Ordinance, along any building façade fronting a street, a civic space, or a canal. For buildings with multiple building facades fronting a street, a civic space or a canal, the Town Manager shall determine which building façade shall be required to provide a shopfront along the first floor.

- a. ~~Shopfronts shall be constructed of custom metal work, stone, stucco, and steel frame. Shopfronts constructed of extruded aluminum frames or aluminum panels shall be expressly prohibited.~~
- b. ~~The shopfront shall be no less than 70 percent glazed in glass for the total building wall area between two feet and 12 feet above the adjacent sidewalk. The shopfront glazing shall have both display windows and transom windows.~~
- c. ~~All transom windows shall have dividing muntins; and shall be free of signage.~~
- d. ~~Shopfronts shall require a minimum 18 inch high knee wall. Knee walls shall be a maximum of 36 inches high above the adjacent sidewalk. All knee walls shall be designed as an integral component of the overall shopfront.~~
- e. ~~Shopfront doors shall be recessed from the building façade to allow the door (or the doors) to swing out without obstructing pedestrian flow on the adjacent sidewalk. Where appropriate, sliding doors and / or sliding windows that allow the activity of the business to open adjacent to and onto the adjacent sidewalk may be installed for cafés, restaurants, and other food service establishments, subject to review and approval by the Town Planner.~~
- f. ~~Wall signs, if permitted, and subject to review and approval by the Town Planner, shall only be installed above transom windows. In lieu of installing a wall sign, one blade sign for each first floor business, no more than six square feet each, may be permanently installed perpendicular to the building façade. All blade signs shall clear a minimum of eight feet above the adjacent sidewalk. Businesses on corner lots may install one blade sign per street frontage.~~

7.5. Except as otherwise provided in this Section 4.2, the design of all Stacked Flats shall **fully** comply with **all of the standards for architecture, landscape architecture and other aesthetic matters that are found in Section 11 of this Ordinance and the** provisions as set forth in the Westlake Entrada Design Guidelines.

8.6. The Town **Planner-Manager** shall not have authority to administratively approve any deviations or exceptions to the minimum habitable area required for a Stacked Flat or the required non-residential uses on the first floor.

SECTION 4: That Section 11, entitled “Building Design Elements”, as provided in Ordinance No. 703, and amended by Ordinance No. 852, Ordinance No. 935 and Ordinance No. 1022, and that is entitled “Residential Condominiums”, is hereby amended to read as follows:

SECTION 11 BUILDING DESIGN ELEMENTS

These standards specify the minimum requirements for materials and design for all building walls, roofs, openings and other elements, and intend to produce visual compatibility among residential, non-residential and mixed-use buildings and to promote a unique identity for the community that grows Catalan Architecture. Unless otherwise noted below, all construction and all modifications proposed within this PD 1-2 shall be designed in strict accordance with these minimum requirements. Where a specific provision or provisions of this Section are in conflict with the Westlake Entrada Design Guidelines attached as Exhibit 4, the provisions of this Section shall take precedence and they shall prevail. Where provisions of this Section are silent, then the Westlake Entrada Design Guidelines shall take precedence, and they shall prevail. The standards and criteria contained in this Section shall be the minimum standards

~~for all new development. Where the regulations of this Section conflict with the Town of Westlake Zoning Ordinance and/or Subdivision Ordinance, the regulations of this Section shall apply.~~

Section 11.1 Architecture General

~~The provisions for architecture, for landscape architecture and for other aesthetic matters that are found in this Section and the Westlake Entrada Design Guidelines, together, address the quality and the character of buildings, the landscape and the civic spaces in Entrada. The specificities found in this Section and in the Westlake Entrada Design Guidelines ensure that investment made by residents and businesses are supported by consistency and predictability in construction. Except as otherwise provided for herein, all buildings that are proposed to be constructed and all buildings that are proposed to be renovated within this PD1-2 shall be designed to satisfy the minimum standards of this Section and the intent for architecture, for landscape architecture and for other aesthetic matters as found in the Westlake Entrada Design Guidelines. Although the provisions for architecture, for landscape architecture and for other aesthetic matters that are found in this Section and the Westlake Entrada Design Guidelines allow for architectural exploration and architectural experimentation, the design of all buildings shall be consistent with traditional materials, configurations and techniques of Catalan Architecture only, except that non-residential and mixed-use buildings may have their inspiration and lessons learned taken from Catalan Architecture and Mediterranean Regions in Europe, subject to the review and approval by the Town Manager. All Permanent Structures to be erected within PD1-2 shall follow the specific Westlake Entrada Design~~

Guidelines submitted as Exhibit 4 to this Ordinance. In particular, the architectural style for Entrada shall focus on the following:

1. The use of limited exterior finish materials (e.g., stone and stucco); AND
2. The focus on exterior finish materials that are locally sourced; AND
3. The use of a defined color palette; AND
4. The production of building designs that are of the highest visual quality and support community identity.

Section 11.2 Site Plan and Building Elevation Review

All construction within this PD 1-2 shall require site plan and building elevation review and approval by the Town, prior to the issuance of any construction permit and building permit. Site plans and building elevations submitted for review and approval shall demonstrate strict compliance with the provisions in this Section and the Westlake Entrada Design Guidelines. Any requested deviation from the provisions in this Section, or the Westlake Entrada Design Guidelines, shall be subject to a review and recommendation from the Planning and Zoning Commission and approval by the Town Council. All requested deviations shall provide an opinion from the homeowners' association or the property owners' association as applicable, and all opinions shall be provided to the Town Manager at least 15 days prior to the Planning and Zoning Commission Meeting. Each Permanent Structure shall have a final Site Plan and Building Elevation review and approval from the Town prior to issuance of a building permit. This review and approval is to ensure compliance with Specific Design Guidelines, overall fit into Westlake Entrada as it matures as a Village, and adherence to the spirit and intent of the foundational framework of a small, European Village. Changes that constitute

a material change to the design guidelines will be considered a zoning change and subject to the required zoning change process.

Section 11.3 General.

5. The exterior finish materials used on all Building Façades shall be consistent in their details and their applications around all elevations, and be consistent in construction quality around all elevations to the satisfaction of the Town Manager.
6. The exterior finish materials specified in this Section refer to actual building products and not imitations of those products.
7. The changes in exterior finish materials on all building façades shall only be along a horizontal line, with the heavier exterior finish material below the lighter, and express visual load-bearing conditions even if the exterior finish material is not load-bearing.
8. The building façades of all buildings shall show no more than two (2) exterior finish materials, excluding foundations, trim, and other similar architectural features.
9. The colors of all buildings shall be expressly limited to only those that are listed in the Westlake Entrada Design Guidelines.
10. The openings for doors and the openings for windows shall be evenly spaced along all building façades facing a street, a civic space or a canal in order to create a visually harmonious architectural composition.
11. The header heights for doors and for windows shall be consistent along all building façades facing a street, a civic space or a canal.

- a. All openings along any building façade facing a street, a civic space and a canal shall be vertical in proportion and rectangular in shape, with the exception of transoms and shopfronts.
12. Doors and windows that operate as sliders are prohibited along all building façades. All doors and all windows shall be located within the building façade such that wall thickness is perceived from the exterior of the building, in strict accordance with the configurations and the techniques as found existing in the Westlake Entrada Design Guidelines.
- a. Flush-mounted doors and flush-mounted windows are expressly prohibited.
13. The pedestrian entrances to Stacked Flats on the upper floors of mixed-use buildings shall be at sidewalk grade.
- a. Pedestrian entrances are not permitted to have ramps and / or stairs.
14. The front building façades of single-family detached residential units and townhomes shall limit openings for doors and openings for windows to a maximum of 40 percent of the total building wall area.
15. All columns, piers and posts shall be no less than 12 inches in width and 12 inches in depth.
- a. Columns and piers shall be made of a natural stone material.
- b. Posts shall be made of a wood material.
- c. The spacing between all columns and posts shall form bays that are vertical or square in proportion.
16. The building façades of mixed-use buildings shall visually differentiate first floor non-residential uses from Stacked Flats on the upper floors with distinguishing elements

including, but not limited to, architectural projections, awnings, changes in exterior finish materials, changes in windows, cornice lines and other similar architectural elements.

17. Building mechanical equipment shall be visually screened, and shall not be located along lot lines bordering a street, a civic space or a canal.

18. Building mechanical equipment located on roof tops shall be visually screened from all sides by either an opaque screen enclosure or parapet walls, either of which shall be at least 12 inches greater in height than the equipment.

19. Building mechanical equipment located in the rear yard and the side yard shall be visually screened from streets, civic spaces and canals by either a screening structure constructed of natural stone matching the adjacent building façade, or by landscape either of which shall be equal to or greater than the height of the equipment.

20. Outdoor refuse / recycling collection receptacles shall only be located in the rear yard and the side yard. All outdoor refuse / recycling receptacles shall be visually screened on all sides by an opaque wall constructed of natural stone with the exception of the access doors only, and that is equal to or greater than the height of the receptable. All access doors into outdoor refuse / recycling receptacles shall be constructed of opaque metal that matches the height of the wall. Lids are required on all outdoor refuse / recycling receptacles that are not in a roofed enclosure.

Section 11. 3-4 Architectural Embellishments Building Elements

Building elements that are not intended for human occupancy or for human use including, but not limited to, belfries, clock towers, elevator bulkheads, and masts, may exceed the building height limit by up to 20 feet.

1. Architectural embellishments not intended for human occupancy that are integral to the architectural style of the buildings, including spires, belfries, towers, cupolas, domes, and roof forms whose area in plan is no greater than 25% of the first floor foot print may exceed the height limits by up to twenty (20) feet provide such changes are reflected on the approved Site Plan.

2. Mechanical equipment, including mechanical/elevator equipment, penthouse enclosures, ventilation equipment, antennas, chimneys, exhaust stacks and flues, fire sprinkler tanks, and other similar items may extend up to twenty (20) feet above the actual building height, provided they are completely screened from view as viewed from neighboring property or right-of-ways, and that: 1) they are setback from all exterior walls a distance at least equal to the vertical dimension that such item(s) extend(s) above the actual building height, or 2) the exterior wall and roof surfaces of such items that are set back less than the vertical dimension above the actual building are to be constructed as architecturally integral parts of the building façade(s) or as architectural embellishments as described above, and that such items are reflected on the approved Site Plan.

Section 11.4.5 Residential Exterior Wall-Exterior Finish Materials:

1. With the exception of openings for doors and windows, the primary exterior finish material for all buildings within this PD1-2 shall be natural stone. Natural stone shall

be laid in accordance with the configurations and the techniques as found existing in the Westlake Entrada Design Guidelines. Stucco shall only be used as a secondary exterior finish material and shall not exceed 20 percent of the total building wall area, with each building façade being calculated independently. Fired clay brick and wood siding may only be used as an accent exterior finish material and shall not exceed 10 percent of the total building wall area, with each building façade being calculated independently. For buildings that are located within the Building Height Waiver Sub-Area, architects may present exterior finish materials other than those specified in this Section and the Westlake Entrada Design Guidelines along the sixth floor and above only, provided that such exterior finish materials shall be subject to review and a recommendation by the Planning and Zoning Commission and approval of the Town Council. Prohibited exterior finish materials shall not be allowed on building façades at the sixth floor and above. Only durable materials shall be allowed as primary exterior wall materials. Primary materials include clay fired brick, natural stone, granite, marble, stucco, and, when approved by Town Council, manufactured stone. Native Texas stone materials shall be of primary consideration in the building material selection process.

a. All fired clay brick shall conform to the following:

i. Fired clay brick shall be unpainted and of integral color.

b. All natural stone shall conform to the following:

i. Stone shall be natural rock and sourced from the region; AND

ii. Stone shall be laid dry-stack or mortared; AND

iii. Stone shall appear to be load-bearing and not applied; AND

- iv. Stone shall be integral color and shall not be painted
 - c. All stucco shall conform to the following:
 - i. Stucco shall be masonry, shall have three (3) traditional coats and shall have a smooth sand-finish.
 - d. All wood shall conform to the following:
 - i. Exposed exterior wood shall be painted or sealed and stained.
- 2. Cementitious fiber board, Exterior Insulating and Finish Systems (E.I.F.S.) and vinyl are expressly prohibited.
- 3. Where provided, all outbuildings, all sheds and all storage structures shall match the exterior finish materials and the roof and the color of the principal building.
- ~~2. Primary materials shall comprise as least eighty (80) percent of each floor, exclusive of doors and windows. EIFS shall not be used as an exterior building material.~~
- ~~3. Only primary building materials are allowed on the first floor, exclusive of doors, windows, and their accompanying frames. For purposes of this section, the first floor shall be at least nine (9) feet high.~~
- ~~4. Secondary materials used on a building facade are those which comprise less than a total of twenty (20) percent of an elevation area. Permitted secondary materials are all primary materials, aluminum or other metal, cedar or similar quality decorative wood, or other materials as approved by the Town Manager.~~
- ~~5. Four-Sided Building Design: All buildings shall be architecturally finished on all sides with the same materials, detailing, and features.~~
- ~~6. Single-family detached houses and Townhomes or villas must have 80% stone exterior wall materials.~~

Section 11.6 Shopfront Design.

The first floor for all principal buildings where non-residential uses are provided shall be designed as a shopfront in which the following architectural features and elements shall be required along any building façade either fronting a street, a civic space, or a canal:

- 1. All shopfront windows, doors, signage, awnings, details, and lighting shall be designed as a unified composition.**
 - a. Shopfronts, except for doors only, shall be constructed of custom metal work, natural stone, stucco, and / or steel frame.**
 - b. Shopfronts constructed of extruded aluminum frames and aluminum panels shall be expressly prohibited.**
- 2. All first floors shall require a minimum of 16-foot tall ceilings as measured between the finished floor and the finished ceiling. To accommodate .**
- 3. All shopfronts shall require a minimum 18-inch high knee wall (or a kick plate) along all frontage lines. Shopfront knee walls or kick plates shall be a maximum of 36 inches high above the adjacent sidewalk. All knee walls and all kick plates shall be designed as an integral component of the overall shopfront.**
- 4. All shopfront doors shall be recessed from the building façade to allow the door (or the doors) to swing out, without obstructing pedestrian flow on the sidewalk. Each tenant space shall have at least one three-foot wide door at the main entry. Shopfront doors are also encouraged at building corners. Where appropriate, sliding doors and / or sliding windows that will allow the activity of the business to open adjacent to and**

onto the public sidewalk may be installed for cafés, restaurants, and other food service establishments, subject to approval by the Town Manager.

5. All shopfronts shall be glazed with clear glass for no less than 70 percent of the first floor building façade as measured between the finished floor and the finished ceiling including the knee wall and the glass area of the front door. All shopfront glass shall be no more than 10 percent tinted. The use of mirrored glass and reflective glass shall expressly prohibited.

a. Shopfront windows may include transom windows; and the transom windows shall have dividing muntins and shall be free of signage.

b. Shopfront windows may encroach into the front setback up to five (5) feet in depth.

c. Shopfront windows may include awnings.

6. Solid metal security gates and solid roll-down shutters are not permitted. Interior link or grill security devices shall only be permitted if they can be completely enclosed or hidden from view when not in use, and shall be subject to review and approval by the Town Manager.

7. The design for first floor commercial spaces shall anticipate restaurant requirements. Accommodation for restaurant venting and sewage utilities including, but not limited to grease traps and interceptors, shall be designed into the building. All designs shall anticipate potential commercial power and gas load needs. In addition, buildings shall also provide maximum clear space between interior columns for first floor retail and activity spaces.

8. Wall signs, if permitted, and subject to review and approval by the Town Manager, shall only be installed above transom windows.

9. In lieu of installing a wall sign, one blade sign for each first floor business, no more than six square feet each, may be permanently installed perpendicular to the building façade. All blade signs shall clear a minimum of eight feet above the adjacent sidewalk. Businesses on corner lots may install one blade sign per street frontage.

Section 11.~~5-7~~ Building Orientation and Building Entries

1. All principal buildings shall locate their principal entrance either along a street or an open space, with the exception of entrances off a courtyard and that are visible from public rights-of-way. Main building entries shall be highlighted using such techniques as building articulation and/or entry canopies so they are obvious to pedestrians and motorists.

2. All first floor non-residential tenant spaces shall have a principal entrance along the front building façade, except where multiple tenants are sharing a space not separated by full interior partition walls. Principal entrances may also be located at building corners for non-residential tenant spaces. Each building and separate lease space at grade along the street edge shall have a functioning "Primary Entry" from the sidewalk. Comer entries may count as a Primary Entry for both intersecting street fronts.

Section 11.6 Awnings, Canopies, Arcades, & Overhangs

1. ~~Structural awnings are encouraged at the ground level to enhance articulation of the building volumes.~~
2. ~~The material of awnings and canopies shall be architectural materials that complement the building.~~
3. ~~Canopies and awnings shall respect the placement of street trees and lighting.~~
4. ~~All large canopies (i.e. gas stations, banks, etc.) that require structural columns for support shall have a minimum six (6) feet masonry or ornamental iron/steel (or other approved material) finish measured from the finished grade. Materials used on columns and canopies shall be complementary to the building.~~

Section 11.~~7~~8 Building Articulation

1. ~~All building wall articulations, such as architectural projections and recesses, shall be limited to four (4) for each 100 feet of building façade length.~~
 - a. ~~Architects shall avoid too many individual elements along a building façade to the satisfaction of the Town Manager.~~
 - b. ~~Architects shall use a small number of well-built elements for all openings for doors and windows and other similar architectural features.~~
2. ~~The front building façades (i.e., the building façade facing a street, a civic space or a canal) of all new buildings shall be visually harmonious with the block, on both sides of its street. The existing buildings shall provide the architectural context unless they are non-conforming or non-contributing to the community identity.~~

1. ~~That portion of the building where retail or service uses take place on the first floor shall be accentuated by including awnings or canopies, different building materials, or architectural building features.~~
2. ~~Building facades fronting both streets and driveways should have massing changes and architectural articulation to provide visual interest and texture and reduce large areas of undifferentiated building facade. Design articulation should not apply evenly across the building facade, but should be grouped for greater visual impact employing changes in volume and plane. Architectural elements including projecting volumes, windows, balconies, loggias, canopies, pediments, and moldings that break up the mass of the building are encouraged.~~

Section 11. ~~8-9~~ Above-Grade Structured Parking

1. ~~The exteriors of all parking structures shall be finished with natural stone on all sides. Synthetic materials are permitted, provided that they have the appearance of natural stone, subject to review and approval by the Town Manager. Where parking garages are within views of streets or adjacent property, the portion of the parking garage that is visible shall have an architecturally finished facade compatible with the surrounding buildings and shall look more like regular buildings than parking structures or as approved by Town Council via the Site Plan approval process.~~
2. Entries and exits to and from parking structures shall be clearly marked for both vehicles and pedestrians by materials, lighting, signage and other similar visual elements , etc., to ensure pedestrian safety on sidewalks and walking paths to the satisfaction of the Town Manager.

Section 11. 9-10 Architectural Projections into Rights-of-Way

Buildings shall be permitted to have architectural projections as described below, provided that (i) no architectural projection shall be allowed to encroach into any easement; (ii) no architectural projection shall be allowed to encroach into any portion of the public right-of-way of State Highway 114, Solana Boulevard, and Farm-to-Market Road 1938 (i.e., Davis Boulevard); (iii) and the property owner, the developer, or the builder shall provide a written promise to the Town Manager to procure and to maintain general liability insurance for any architectural projection constructed in the public rights-of-way, except for those rights-of-way noted above. Any architectural projections in the private rights-of-way shall be subject to applicable review and approval by the homeowners' association or the property owners' association for Entrada~~The following projections shall be permitted into a public easement or right-of-way, provided that 1) no projection shall be permitted into a public easement or right-of-way of SH 114, Solana Boulevard and FM 1938 (Davis Blvd.); 2) such projections do not extend over the traveled portion of a roadway; 3) the property owner has assumed liability related to such projections; and 4) ——— the property owner shall maintain such projection in a safe and non-injurious manner.~~

1. Where provided, all architectural projections including, but not limited to, balconies, bay windows, cornice lines, roof eaves, shopfront display windows, signage, trim and other similar architectural elements may project horizontally from Building Façades along a street, a civic space or a canal a maximum of four (4) feet~~Ordinary building projections, including, but not limited to water tables, sills, belt courses, pilasters, and~~

~~cornices may project up to twelve (12) inches beyond a building face or architectural projection.~~

~~2. Roof eaves may project up to thirty-six (36) inches beyond the building face or architectural projection.~~

~~3. Architectural projections, including balconies, bays, towers, and oriels; show windows (1st floor only); below grade vaults and areaways; and elements of a nature similar to those listed; may project up to forty-eight (48) inches beyond the building face.~~

~~2. Where provided, all awnings and canopies shall project horizontally from Building Façades along a street, a civic space or a canal for a minimum of six (6) feet. Canopies shall have a minimum vertical clearance of at least 10 feet.~~

~~a. All awnings shall be sloping rectangles without side soffit panels and bottom soffit panels and shall be made of a canvas material, a glass material, a metal material, or a wood material.~~

~~b. All canopies shall be made of a metal material, a wood material or combination of both. All canopies shall be supported by metal posts or wood posts, and shall be brought to grade as piers of natural stone.~~

~~c. Backlighting of awnings from under or inside is prohibited.~~

~~4.3. Awnings shall be sloping rectangles without side soffit panels or bottom soffit panels and shall be made of a canvas material, a glass material or a metal material that is complementary to the architectural style of the building. Canopies shall be made of a metal material and a wood material complementary to the architectural composition of the building. No awning or canopy shall project horizontally to within two (2) feet~~

of the back of curb of any public rights-of-way or private rights-of-way. No awning or canopy shall limit vehicular access, pedestrian access or emergency access. Canopies and/or awnings may project from the building face and may extend into rights-of-way if a minimum sidewalk clearance and/or distance to a street tree of six (6) feet is maintained. Additionally, they may be extended or be within eight (8) inches of the back of curb if used to provide a covered walkway to a building entrance and as long as any canopy/awning support is no closer than eighteen (18) inches from the back of curb.

5. Below-grade footings approved in conjunction with building permits.

4. Where provided, all balconies that project horizontally from a Building Façade shall be visibly supported by brackets of an appropriate scale.

a. Balconies may be recessed into the main volume of a building for a maximum of 50 percent of their depth.

6.5. Pedestrian Bridges shall be permitted to extend over public rights-of-way, private rights-of-way, and / or private access easements provided that a minimum vertical clearance of 14 feet from side to side, or ~~17~~ 17 feet from the high point of an arch. Pedestrian bridges shall be constructed primarily of natural stone and shall otherwise be subject to design review and approval by the Town Manager.

Section 11. 10-11 Extensions into Rights-of-Way Outdoor Activities.

All first floor non-residential uses may utilize the public rights-of-way and / or the private rights-of-way for outdoor seating areas, for outdoor serving areas, for outdoor displays of merchandise and for other business-related activities provided a minimum contiguous clear

path of six (6) feet to be maintained. Outdoor seating areas, outdoor serving areas, outdoor displays of merchandise and other business-related activities shall be prohibited along State Highway 114, Solana Boulevard and Farm-to-Market Road 1938 (i.e., Davis Boulevard). All outdoor serving areas shall be separated from all streets and all civic spaces by using railings, wrought-iron fencing, landscape, planters and other suitable materials subject to review and approval by the Town Manager. All outdoor seating areas, outdoor serving areas, outdoor displays of merchandise and other outdoor business-related activities shall be maintained in good condition so as to present a healthy, neat and orderly appearance for Entrada. Outdoor eating areas and outdoor display of retail items for sale may extend into rights-of-way if a minimum sidewalk clearance and/or distance to a street tree of three (3) feet is maintained, provided that no extensions shall be permitted into a public easement or right-of-way of SH 114, Solana Boulevard and FM 1938 (Davis Blvd.). Additionally, a five-foot (5) clear access path must be maintained along the edge of curb within Public Right of Way.

Section 11.11-12 Roofing Material Principal Roofs and Ancillary Roofs.

Within this PD 1-2, principal roofs shall either be sloped or low-slope (i.e., flat). All principal roofs for single-family detached residential units and townhomes shall be sloped only; and principal roofs for non-residential buildings and mixed-use buildings may either be sloped or flat. All sloped principal roofs shall be clad in natural clay material and shall have a maximum angle of 6:12. Flat roofs shall be surrounded on all sides by a horizontal parapet wall that is at least 42 inches high where the roof deck meets the parapet wall. Ancillary roofs provided for balconies, for bay windows, for patios, for porches and for all other similar architectural projections shall either be clad with a natural clay material or a standing seam

~~metal material, and shall have a maximum angle of 3:12. Composition roofing materials are expressly prohibited. Roofing materials shall be limited to materials approved by the adopted building code that are either natural slate or authentic clay tile, or have the appearance of slate or clay tile when approved by the Town. Flat roofing systems where appropriately masked from street-level view corridors by parapets and/or other architectural features are permitted. Standing seam metal roofing may be used only for minor areas such as porches and patios and in areas not generally visible. No composition roofs are allowed.~~

Section 11.12 Roof Pitch

~~No minimum roof pitch prescribed. Roof pitches and orientation should vary to resemble a Village that has developed or evolved over many years.~~

Section 11.13 Non-residential Exterior Wall Materials

~~Exterior wall shall be 100% masonry except for doors and windows. Brick, stone, cast stone, and stucco are approved materials. Manufactured stone may be approved by the Town Council via the Site Plan approval process. Siding of any type is prohibited.~~

Section 11.13 Landscaped Areas.

~~The property owner shall be responsible for the maintenance of all on-site landscaping which shall be maintained in good condition so as to present a healthy, neat and orderly appearance for Entrada. All landscaped areas shall comply with the specific provisions as set forth in the Westlake Entrada Design Guidelines and the UDC. In addition:~~

1. Woodburning outdoor fireplaces and outdoor firepits shall be allowed, provided that all such fireplaces and firepits shall be separated from all combustible structures and trees by the minimum distance as found existing in the International Fire Code.

Section 11.14 Gutters and Downspouts.

All Gutters-gutters and down-spouts shall **either** be made of anodized metal or copper and, **where gutters are visible from a street or an open space, they shall all-visible gutters to** be constructed as half-round design.

~~Section 11.15 Driveways and sidewalks~~

~~All driveways and sidewalks, other than common area sidewalks, shall be stamped with a Entrada unique Cobblestone Pattern (to be approved by the Town), stained or have an exposed aggregate finish, as allowable to conform to ADA standards.~~

Section 11.15 Administration.

All residential, non-residential and mixed-use construction projects within this PD 1-2 shall conform to all of the standards for architecture, landscape architecture and other aesthetic matters that are set forth in this Section, the Westlake Entrada Design Guidelines and this Ordinance, unless a deviation request is granted by the Town Council. No building permit or other construction permit shall be applied for and issued for any construction project that does not conform to the standards of this Section 11, the Westlake Entrada Design Guidelines and this Ordinance. All applications made for building permits shall be supported in writing, as applicable, from the homeowners' association or the property owners' association.

SECTION 5: That the revised and amended Westlake Entrada Design Guidelines attached hereto as EXHIBIT “4” is hereby revised and amended as shown.

SECTION 6: That this Ordinance shall be cumulative of all the other Ordinances adopted by the Town and all of the provisions of other Ordinances as adopted by the Town which are inconsistent with the provisions or terms of this Ordinance are hereby repealed.

SECTION 7: That any person, firm or corporation violating any of the provisions or terms of this Ordinance shall be subject to the same penalty as provided for in the Code of Ordinances of the Town, and upon conviction shall be punishable by a fine not to exceed the sum of Two Thousand Dollars (\$2,000.00) for each offense. Each day that a violation is permitted to exist shall constitute a separate offense.

SECTION 8: This Ordinance shall take effect immediately from and after its passage as the law in such case provides.

SECTION 9: It is hereby declared to be the intention of the Town Council of the Town, that any sections, paragraphs, clauses and phrases of this Ordinance are severable and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared legally invalid or unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such legal invalidity or unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs or sections of this Ordinance since the same would have been enacted by the Town Council of the Town without the incorporation in this Ordinance of any such legally invalid or unconstitutional, phrase, sentence, paragraph or section.

SECTION 10: This ordinance shall take effect immediately from and after its passage as the law in such case provides.

PASSED AND APPROVED ON THIS [REDACTED] DAY OF [REDACTED] 2025.

[REDACTED]

Kim Greaves, Mayor

ATTEST:

[REDACTED]

Dianna Buchanan, Town Secretary

APPROVED AS TO FORM:

[REDACTED]

Matthew Boyle, Town Attorney

ENTRADA DESIGN GUIDELINES

prepared by Merriman Associates Architects

11.23.2015

revised 12.18.2015

[revised 09.16.2025](#)

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Introduction:

The following document presents those design and construction quality guidelines contains specific standards for architecture, landscape architecture and other matters of urban design that are applicable to new construction and to the modification of existing construction within PD, Planned Development District 1-2 ("PD 1-2") for the Entrada Development ("Entrada"). The specific standards contained in these Design Guidelines for PD1-2 has both contain building regulations and rules for a residential construction, and non-residential component construction and mixed-use construction. Unless otherwise provided for in these Design Guidelines for PD 1-2, the specific standards shall apply to all residential construction, non-residential construction and vertical mixed-use construction. Those guidelines applicable exclusively to residential or non-residential uses are called out by land use. Those guidelines not specified as residential or non-residential are applicable to both land uses.

There are two primary purposes accomplished through this document. These purposes are:

1. Construction Quality: Modern construction technology is most adept at allowing /facilitating the delivery of traditional and historic architectural details and themes through cost effective and fast building methods/ systems. An industry of preformed shapes, plasticized material, faux materials, attachment systems, material unitization, etc. has arisen around replication of traditional and historic architectural details. However, visual replication often fails to also deliver the essence of craftsmanship that is so much a part of the traditions that the market reveres. The Town of Westlake seeks to introduce, to preserve and to reinforce, an iconic mixed-use environment that is inspired by Catalan Architecture and, in specific instances (e.g., non-residential construction and mixed-use construction), other architectural styles that have Mediterranean and Southern European influences. These influences shall be evidenced in the palette of materials for building walls, roofs, openings, attachments and other architectural elements, as well as the quality and craftsmanship of the building techniques and practices in the creation of a Catalonian/European Village look, the evidence of artisanship and craftsmanship that is so essential to that look. Therefore, these guidelines establish additional specifications for establish materials, dimensions, and workmanship standards aimed at use of materials that can be crafted and engagement of construction techniques that enhance the minimum standards for architecture, landscape architecture and other aesthetic matters contained in the PD 1-2 Ordinance.

2. Capturing Essential Visual Qualities of the Catalonian Architecture/European Archetype: Although the specific standards contained within these Design Guidelines intentionally allow room for architectural experimentation, architectural exploration and architectural expression, the proposed construction and the proposed renovation of all buildings, landscaping and other improvements shall reflect and reinforce architecture, landscape architecture and a community identity derived from practices and techniques commonly found in and indigenous to Catalonia and other regions of Southern Europe bordering the Mediterranean Sea. Overall planning and building arrangement should create a compact pedestrian scaled environment mimicking the scale and livability of a small, Catalonian/European Village that has evolved organically over hundreds, if not thousands of years. Individual buildings should be designed to reinforce the pedestrian orientation of the village, with an extreme focus on attention to detail and the inclusion of four-sided building design within the framework of the small Catalonian/European Village upon which this community

~~is based. The distinct physical outcomes of directed and guided by these Design Guidelines are focused delivery system will be built around construction details, methods, and systems based on modern veneer construction practices that are primarily disciplined by the building materials, configurations and techniques of a Catalan Village. Closure, edge/corner, portal, and base details associated with veneer construction will be designed to emulate the construction method of the medieval Catalonian/European Village. The present day architect, builder, and tradesman is faced with a need to translate the essence of the style through creative construction details that yield the similar appearance of Catalonian/European construction and detailing.~~

The following Design Guidelines are intended to address these two important outcomes purposes and, in so doing, shall deliver a community of extraordinary aesthetic value that is worthy of emulation within and around the Town of Westlake ~~promote a project for Westlake that is truly unique in the Metroplex and an achievement for both the developer and the Town.~~

The term “SHALL” as used herein means that the specific provision is required. The term “SHOULD” as used herein means that the specific provision is highly recommended. The term “MAY” means that the specific provision is optional. The term “APPROVAL” as used herein means approval of the PD Site Plan as submitted in accordance with the governing PD1-2 ~~ordinance~~ Ordinance and any other written approvals received, as applicable, from the Town Manager and / or their designee, the Planning and Zoning Commission and the Town Council for any deviation from these Design Guidelines. Unless otherwise expressly prohibited by the PD 1-2 Ordinance, a property owner or a developer may appeal any determination from the Town Manager and / or their designee to the Town Council, with a recommendation provided by the Planning and Zoning Commission ~~Opportunities to appeal to the Town of Westlake Planning and Zoning Commission and Town Council are in place if approval is not provided by Town staff.~~

STREETSCAPE, COURTYARDS, AND WALLS

Exterior Paving

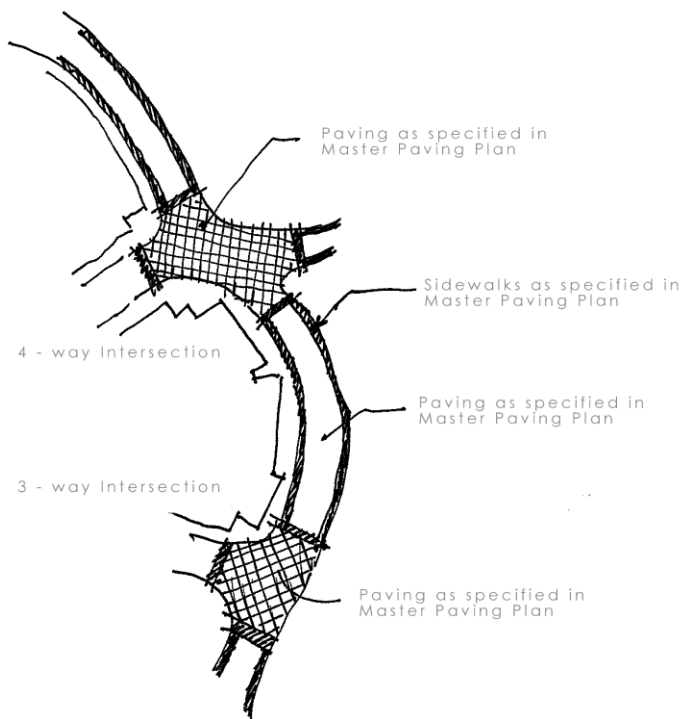
For the purposes of this Section, the term “Exterior Paving” is defined as the surface treatment of roadways, walkways, parking areas, and plazas.

Material:

- Public Roadways and Public Parking Areas: ~~shall be~~ integrally-integrally colored concrete pavers. The roadway and parking paving color for Entrada ~~will-shall~~ be determined by the Town Manager or their designee based on field samples, and one sample ~~will-shall~~ be selected as the color standard against which the use of color throughout the project ~~will-shall~~ be compared for consistency. Refer to the approved Master Paving Plan for locations and pattern coordination with horizontal street alignment.
- Public Sidewalks and Trails: ~~shall be~~ cast-in-place concrete. The sidewalk and trail paving color and texture for Entrada ~~will-shall~~ be determined by the Town Manager or their designee based on field samples and one sample ~~will-shall~~ be selected as the color standard against which the use of color throughout the project ~~will-shall~~ be compared for consistency. Refer to the approved Master Paving Plan for locations.
- Private Roadway and Parking Areas: ~~shall be~~ integrally-integrally colored concrete pavers. The roadway and parking paving color for Entrada ~~will-shall~~ be determined based on field samples and one sample ~~will-shall~~ be selected as the color standard against which the use of color throughout the project ~~will-shall~~ be compared for consistency. Refer to the approved Master Paving Plan for locations.
- Private Sidewalks: ~~shall be~~ Cast-cast-in-place concrete. The private sidewalk paving color and texture for Entrada ~~will-shall~~ be determined based on field samples and one sample ~~will-shall~~ be selected as the color standard against which the use of color throughout the project ~~will-shall~~ be compared for consistency. Refer to the approved Master Paving Plan for locations.
- Accent Material within above Referenced Pavement Areas: ~~shall be~~ integrally-integrally colored concrete pavers in coordinating color or integrally colored cast in place concrete with coordinating color and texture. Refer to the approved Master Paving Plan for locations.

Dimensions:

- Joints in Public Roadways: ~~The Maximum-maximum~~ joint in public roadways ~~will-shall~~ not exceed minimum manufacturer’s specification unless such wider joint is indicated on the approved paving plan. Joints as specified by the Civil Engineer of Record in the public roadway ~~will-shall~~ be uniform within a small range of deviation normal to handwork, to the satisfaction of the Town Manager or their designee.
- Concrete Joints in Sidewalks: ~~If Where~~ concrete is utilized, stamped concrete joints ~~to-shall~~ be ~~v-~~ V-shaped, one-quarter (1/4) inch: wide minimum and one-quarter (1/4) inch: deep minimum.
- Concrete Joints in Private Roadways and Parking Areas: If concrete is utilized, concrete joints to be ~~v-~~ V-shaped, one-quarter (1/4) inch: wide minimum and 1/4 in. deep minimum.
- Private Sidewalks: Concrete thickness shall be determined by the recommendations of a geotechnical engineer.
- Joints in Private Sidewalks: If concrete is utilized, concrete joints to be ~~v-~~ V-shaped, one-quarter (1/4) inch: wide minimum and one-quarter (1/4) inch: deep minimum.
- Pavement Accent Materials: Integrally colored concrete pavers in a coordinating color, exposed aggregate concrete, or integrally colored concrete in a coordinating color as specific in the Master Paving Plan.



*This diagram is only an example representative of what the paving could may be. Refer to the approved Master Paving Plan for actual paving material and locations.

Fire Lanes shall be designed in accordance with the following:

- Design: Continuous unit pavers with "Fire Lane" marked at code compliant intervals.
- Color: Allowable coloration as approved by the Westlake Fire Marshal.
- Prohibitions: Painted fire lane striping.
- Final locations and details will shall be presented and approved during the Town's PD Site Plan submittal process.



Curbing:

- Application of Detail: The use of curbing ~~should~~ shall be kept to a minimum, and shall typically be only employed along public roadways. Curbs ~~will~~ shall be utilized anywhere that concrete pavers are used.
- Integration of Curb: ~~When employed~~ Where used, curbs ~~are~~ shall be rollover in profile. The curb paving color and texture for Entrada ~~will~~ shall be determined based on field samples and one sample ~~will~~ shall be selected as the color standard against which the use of color throughout the project ~~will~~ shall be compared for consistency. Refer to approved Master Paving Plan for locations. Texturing of the curb ~~must~~ shall finish with a crafted detail at the curb edge. Slurring or distorting the stamped imprints, if utilized, at the beginning of the curb rake ~~is~~ shall be expressly prohibited.
- Back of Curb: If exposed, the vertical backside of the curb ~~must~~ shall be finished.
- All curbing ~~ing~~ will ~~shall~~ conform to approved paving samples or as approved by the Town to accommodate future design revisions.

Parking Lots:

- Design: Integrally colored concrete pavers. The parking lot paving color for Entrada ~~will~~ shall be determined based on field samples.
- Color: Shall match or complement the adjacent roadway or parking drive aisle
- Final locations and details ~~will~~ shall be presented and approved during the Town's PD Site Plan submittal process.

Parking Striping:

- Detaining: Continuous unit pavers.
- Color: Allowable color paver is one that ~~will~~ shall appropriately contrast with the paving color, but ~~complement~~ complement the paving color as determined by on site mock-up and to the satisfaction of the Town Manager or their designee.
- Prohibition: Painted parking striping.
- Final locations and details ~~will~~ shall be presented and approved during the Town's PD Site Plan submittal process.





Bollards, Wheel Stops, and Control/Expansion Joints:

- Iron bollards: Decorative iron bollards ~~must~~ shall have a minimum diameter of 8 inches. The style of the bollard ~~will~~ shall be ~~subject to review and approved approval~~ by the Town ~~Manager or their designee~~ of Westlake. A field trial of the bollard shall be provided for consideration.
- Wheel stops, if used, shall be integrally colored concrete to generally match paving ~~and shall be subject to review and approval by the Town Manager or their designee~~.



Articulation Additional Standards:

- Control and Expansion Joints: ~~If~~ Where required, control and expansion joints should strive to be visually seamless with the surrounding paving pattern and horizontal pavement geometry.
- Prohibitions: Control and expansion joints ~~should~~ shall not cross over the paving pattern. Where possible, control and expansion joints ~~should~~ shall be placed perpendicular to the curb.
- Relationship to Building Grade Elevation: Exterior paving fields ~~should~~ shall embrace architectural and landscape elements with a minimum grade change or curbing.
- Manholes: Manholes and other access points located in public streets or public sidewalks are required, if possible, to accept a finish material that matches adjacent paving or be metal featuring the logo of Entrada.

The following guideline is intended to establish the qualities of appearance and construction that retaining walls within the Entrada project should have. The on-going additive system of village development over time is replaced by design which seeks to define key visual features that ~~the one-time~~ project construction must embody. This guideline addresses features building materials and building configurations and techniques that are related to the construction of retaining walls only.

Aspects of Wall Appearance:

The appearance of retaining and foundation walls in Catalonia and other /settings in Southern Europe is a result of two (2) conditions which influence construction. The first is construction technology, meaning that a lack of heavy equipment, concrete block, and concrete systems resulted in a wall that was not simply a veneer, but a true structural section. Also, the total dependence on human labor to place and transport the stones set a range of feasible sizes that could be used for construction. The second is material which means that most stone was gathered close to the ground surface, giving the rock a mottled matrix of color. The fact that poured in place concrete was not generally employed means that the foundations were stone, making the entire wall a gravity wall. The larger foundation stones rose up from the ground, making the base course of the wall construction. The highly irregular nature of gathered stones (varying size and shape) meant that constant course leveling was necessary to maintain structural integrity. The level continuity of courses is essential to structural strength. More specifically, these aspects of wall appearance are:

- **Coursing Patterns:** Proper coursing is achieved with highly irregular stones. The constant use of smaller stones in between larger ones is helpful to maintain course leveling. ~~The All~~ stones in retaining walls shall should be laid in a manner that sets the stone on its broader / flatter face. Stones ~~should not~~ set vertically or at odd angles shall be avoided and prohibited, but shall lay within the wall just as they would lie on the ground. This gives the wall section ~~a~~ basic stability. Therefore, the course pattern must be structural. A structural course pattern has the following qualities:
 - i. Larger stones are laid within the wall just as they would lay on the ground.
 - ii. Placement of a larger stone on another larger stone employs the use of smaller stones to level irregularities in the larger stone form, thereby creating a relatively level resting place for the larger stone being set.

- **Straightness:**

Vertical Straightness:

The constant course leveling and the capacity of the wall to somewhat move with the movement of the earth, means that the vertical wall was highly irregular in most instances. However, this irregularity was not a product of poor workmanship but the varied use of stone. The face of a larger stone would slightly project or recede because the face is not flat or square. Therefore, the wall can be reasonably plumb but not flat straight. This level of vertical irregularity ~~will~~shall have to be imposed by the mason where stone is a veneer over concrete block or cast in place concrete. This can be done by varying the thickness of mortar between the structural wall and the veneer and having a larger masonry ledge.

Horizontal Straightness:

Lacking heavy equipment and having to rely upon the wall to do most of the grade accommodation work instead of people, retaining walls often had slight irregularities in horizontal alignment. The job of the retaining wall was to level the ground for the building construction. Therefore, the wall appears to rise up from an undulating ground line to create a level top course at the building. In a contemporary development condition

08 where the project seeks to use all land within the legal property lines, retaining walls tend

to become a reflection of those property lines. Thereby, the wall ceases to support the building and now supports the site. While property line articulation is unavoidable, the horizontal alignment should take every opportunity to be determined by grade condition. The extent to which natural grade informs wall alignment, the more it will reflect the spirit of the village setting.

- **Texture:** Retaining walls exhibit a great deal of texture because the mortar is deep set, giving the wall open voids between stones and courses which amplify the visual texture of the large stones and small leveling stones. These voids ~~should~~ shall not be filled with mortar although deep set mortar may be used.
- **Corners:** Corners ~~tell~~ depict whether a wall is truly structural or simply veneer over a structural substrate. The following picture illustrates a structural corner. Note the interlocking of the coursed stones, called tothing. Note that the stone laid in the wall as it would lay on the ground allows the length of the stone to “lock” the corner. This makes the corner structural.
- **Cap:** The wall cap is an important statement of ~~the mason's~~ craft. Many of the wall samples provided do not have a cap detail. It is important that a cap detail be employed. It is possible that the wall can have a layer of earth over its top. However, concrete poured over the top of the wall ~~should~~ shall be avoided and shall not be approved. A cast stone cap, subject to review and approval by the Town Manager or their designee, is allowed for more formal applications.
- **Dimensions:** The sense that the retaining wall is related to the earth, (i.e. tectonic connection), is influenced by its massiveness and dimension. When the thickness of a retaining wall can be perceived, such as at the cap detail, the depth from the front to back ~~should~~ shall be no less than one (1) foot.



Aspects of Wall Construction: As discussed above, the ~~lack-absence~~ of modern construction technology and dependence on human labor gave ~~birth-rise~~ to the construction techniques by which retaining and foundation walls in Catalonia ~~/ and Southern~~ Europe were built. Instead of concrete, medieval wall builders used a lime mortar. The hardening of this material was dependent upon the reaction of the lime with atmospheric carbon dioxide, forming calcium carbonate. The drying process in combination with low strength allows a building constructed with lime mortar to shift and move slowly over time and thereby accommodates differential movements and distortions within the structure. This contributes to the organic and ~~picturesque-aesthetic~~ quality of building walls and edges. Present day use of higher strength, hydraulic mortars and concrete necessitates that the wall or building be built so as not to move or shift. Even though mortar was used, the structural integrity of the wall section was a result of coursing. Therefore, the appearance of a Catalonian ~~/ Southern~~ European wall is largely a function of executing structurally sound coursing with highly varied and uneven stone material. This portion of the retaining and foundation wall guideline addresses aspects of construction necessary to maintain the visual character resulting from the execution of coursing and use of lime mortar. More specifically these qualities of construction are:

- **Veneer over structural substrate:** When the stone of a retaining wall is ~~actually~~ a veneer over concrete block or poured in place concrete, filling a variable cavity space between structure and veneer ~~should-shall~~ be used to give the wall a more handmade appearance. In addition, the masonry ledge must be wide enough to accommodate larger stones laid in the wall as these stones would normally lay on the ground.
- **Lift Wall:** Where possible, lift wall construction ~~should-shall~~ be used as it ~~will~~~~shall~~ naturally yield a more hand-crafted look. The cavity space between courses ~~should-shall~~ be large enough to allow large stones to lay in the wall in the same manner that they would lay on the ground.



Approved Mock-up Wall

Courtyards and Patios:

Courtyards and patios are defined as an unroofed area mostly enclosed by building walls in combination with freestanding walls which provide privacy or simply define the edge of the activity area.

History:

- Spanish: Spanish courtyards are designed like an outdoor room to create a restful, relaxing atmosphere.
- Influences: The Roman and Moorish civilizations were significant influences in the development of the Spanish courtyard garden in the first through the twelve centuries.
- Atrium as a Precedent: The Roman atrium was the model for the Spanish patio which became the central feature of Spanish Courtyard Gardens.
- Medieval Use and variations: The medieval cloister gardens of the Middle Ages continued the courtyard tradition in cathedral and monasteries where monks often grew medicinal herbs and flowers.

Location:

- Enclosure: A courtyard or patio is either fully or partially closed by building walls in combination with free standing walls. This differs from the courtyard and/or patio from a typical yard space which sits to the front, rear, or side of the primary structure and is almost completely enclosed by wall or fence.
- Affected Courtyards and/or Patios: Courtyards visible from the street are required to meet all the requirements of these guidelines. These include Entry Courtyards, Motor Courtyards and Patio Terraces.
- Entry Courtyards: Courtyards transition between public and private space and are typically located on the front side of the architecture. At least 2 sides of an entry courtyard are defined by building walls.
- Motor Courtyards: An expanded area for maneuvering a vehicle, located behind an entry portal and fully enclosed by garage wall and free standing wall. A 16'-0" wide gate is allowed at shared drives and motor courts for more than five garages. A maximum 12'-0" wide gate shall be used in locations with four or less garages.
- Terrace Patios: Terrace patios are defined on one or more sides by building walls and the remainder is defined by low perimeter boundary walls. Patio terraces are often slightly elevated above the ground plane.



Elements:

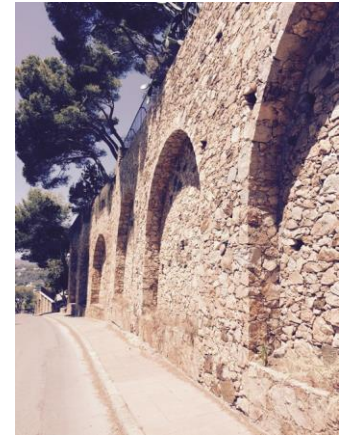
- Visual Effect: Courtyards are an important part of the streetscape and provide a great visual enhancement to both the street and the architecture hidden behind their walls.
- Enclosure: Stone walls or building facades create a sense of enclosure. At least two (2) sides of the courtyard or patio terrace must shall be defined by building walls.
- Gates: Gates, in compliance with the aesthetic requirements set forth herein (conforming to see the Gate Guidelines) provide a visual connection into semi-private-transition space. ~~This is a community relationship more than a defensive relationship between building and street.~~
- Paving:
 - Muse: Lateral expansion of street pavers.
 - Motor Court: Lateral expansion of street pavers or decorative paving with threshold.
 - Small Motor Court: Allowed to be saw cut concrete pattern.
 - Entry Courts Visible to Street: Enhanced landscaping, paving, art or combination thereof.
- Artistic Features: Fountain, bird bath, sculpture, or simple basin of water may be included.
- Decorative Planting: Containers and raised beds containing ornamental plants. Bed areas are often limited, and requireing careful selection of plants for the limited planting area.
- Secondary Structures: Loggias, trellises, awnings and roofed arcades provide shade and a sense of enclosure.
- Fire Place or Fire Pit: Exterior fireplaces emphasize the idea of an outdoor room.



Courtyard Walls

Material:

- Stone: Shall be Full-full-width natural quarried stone, selected from the approved stone material for Entrada and shall match the stone material on the adjacent building façade. All freestanding courtyard walls must shall be a stone material, unless approved by Town for desired variety. Stone veneer backed with concrete masonry units ("CMU") or concrete is acceptable, subject to review and approval by the Town Manager or their designee. Wall accents are acceptable, subject to review and approval by the Town Manager or their designee.
- ~~Stucco: Limited to 40% of street visible courtyard wall area~~
- Brick and Stucco Accents: Shall not exceed ten (10) percent of the total surface area of the wall, with each wall being calculated independently.
- No other materials shall be permitted on any courtyard wall~~Prohibitions: The use of thin-set stone veneer, the use of scored stucco meant to look like stone, exposed CMU.~~



Articulation:

- Wall Section, Lift Wall: Two (2) wythe natural quarried stone veneer laid in a coursed pattern with grout infill. Stones laid in a course pattern are laid into the wall as they would otherwise lay on the ground. The frequent use of smaller leveling stones (chinking material) is shall be permitted and encouraged.
- Wall Section, Veneer Wall: Single wythe natural quarried stone or brick veneer with concrete masonry unit (CMU) inner wall, natural quarried stone or stucco must shall cover the CMU at all faces. The stone veneer must shall maintain the irregular surface pattern of a lift wall.
- Streetscape Contribution: Where provided employed, walls must shall make a strong visual edge with the streetscape to the satisfaction of the Town Manager or their designee. Walls along the front or the rear property lines must lay shall be laid within the Build-To-Zone as specified in the Fee Simple Residential Guidelines.
- Wall Surface: Planar, flat with visual expression of natural quarried or cut stone, east stone, or brick or stucco surrounds at openings. Stones employed in the wall construction must shall be varied in width, height, and form. The frequent use of smaller leveling stones (chinking) is encouraged.
- Prohibitions: The use of thin-set stone veneer products and stone laid in a pattern that is not a load bearing coursed pattern (such as mosaic stone patterns) shall be expressly prohibited.

Dimensions:

- Thickness: Eight (8) inches minimum (except for the use of leveling stones wh

needed to maintain level coursing).

- Height: ~~Six (6) feet~~; minimum, measured from the base of the wall at the intersection of the ground plane; First ~~six (6) feet~~ of walls shall be solid exclusive of allowable opacity listed on the following page.

- Prohibitions: The use of a uniform size or cut of stone shall be expressly prohibited.

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Wall Cap:

- Material: Full width natural quarried stone. Random width natural quarried stone. Cut or dressed, full width natural quarried stone. Cut or dressed, random width natural quarried stone. Clay, half-round roof tile. A thin natural slate. Cast stone
- Articulation: The wall cap must be laid in a manner that engages the full width of the wall
- Prohibitions: The use of thin-set stone veneer products or concrete shall be expressly prohibited.

Stone Patterns and Coursing:

- Wall Face: Refer to "Retaining Wall Guidelines" for approved coursing patterns. All stones that are laid in a course must shall be laid in the wall as they would lay on the ground. The frequent use of leveling stones (chinking) is encouraged.
- Wall Corner: Wall corner must be laid so that the vertical courses interlock (Toothing), thereby showing the full dimension of the stones used. See Retaining Wall Guidelines for a more detailed explanation of corners. Corners are required to shall reflect the full depth of the stone and give the appearance of load bearing masonry.
- Prohibitions: Stacked mortar joints at any inside or outside corner or at the surround of an opening

Opacity:

- Void to solid ratio: No more than 40% percent of the wall area may be an opening. This percentage may be modified for special conditions pursuant to design review.

Wall Openings:

- Definition: Openings are defined as Pedestrian, allowing for walking traffic, Automotive, allowing for garage access and Decorative, which do not allow the passage of man or car but provide visual relief on the wall run.
- Width of Opening: The maximum width of a Pedestrian opening is 6 ft. The maximum width of an automotive opening is 16 ft. if opening serves five or more garages. If opening serves four or less garages, the opening is limited to 12 ft. wide. Pedestrian and automotive openings may be gated with a wood or iron gate. However, when a garage is within the Build-To-Zone (see residential development guideline) the wall opening may be the width of the driveway serving the garage door opening. All other motor entries shall be to a motor court which serves the garage.

ArticulationAdditional Standards:

- All wall openings shall have full natural quarried or cut stone, cast stone, or brick returns at openings.
- The incorporation of decorative natural stone shelves, niches and carvings into the wall facade is highly encouraged.
- All walls designed taller than 4 ft. in height are required to be approved and stamped by an engineer. All gravity walls must be designed or specified by a registered engineer.

Arches

Arches are defined as openings with headers. Arches may be a full round arch, segmented arch, elliptical arch, or a flat arch. An arch is composed of interlocking masonry units which structurally hold the arch shape in a compression assembly. Arches in Catalonia/Europe are generally not supported by a shaped metal angle unless the arch is of such a width that the public safety is served by inclusion of steel support. The Town may require steel support.

Material:

- **Material General:** All components that make up an arch shaped opening, including supporting walls or abutments, decorative columns, ring stones and keystones, can be natural quarried stone, cast stone, brick, timber, or iron.
- **Prohibitions:** The use of EIFS, wood siding, Hardiboard siding, concrete masonry units, marble, granite, fiberglass and metal panels.

Dimensions:

- **Thickness:** 6 in. minimum as viewed from the underside of the arch.
- **Height:** Height may vary with the use of natural stone. However, chopped stones are permitted and the use of such stones would generally lead to bigger stones at the spring point and the key. Joints between uncut masonry units used in the construction of an arch must be reasonably uniform. Wedge shaped joints are discouraged.

Coursing and Patterning:

- **Below the Arch Spring:** Cut, level, horizontally coursed stone, cast stone, or brick is required at all wall openings below arch spring lines and must continue the entire depth of the visible arch assembly.
- **The Arch:** Cut/ chopped, appropriately visually scaled, structural ring stones or, in flat arches, brick are required to make arched openings and must continue the entire depth of the visible arch assembly.

Articulation:

- **Shape:** Acceptable arch shapes are true or half round, segmental, flat and elliptical.
- **Structural Integrity:** Where employed, arches and arched openings, are required to be capable of supporting a structural load unless the Town requires steel support or the project engineer determines that a true structural arch is a threat to public safety in a particular design or use.
- **Arch Ring:** The arch ring may be segmented or carved from a single piece of stone.
- **Masonry Units:** For rounded arches made of unit masonry, individual stones can be site selected for natural wedge shape or be cut to wedge shape.
- **Scale Compatibility:** The actual scale of the arched supporting stones should be visually in tune with the perceived weight the actual arch is supporting and embody the character of the Catalonian/European archetype.
- **Returns:** All arched openings shall have full natural quarried stone, cut stone, cast stone, or brick returns at openings.
- **Archway Decorations:** The incorporation of decorative niches and carvings into the arch assembly is highly encouraged.
- **Corners:** Archway corners should be laid so that the courses interlock with wall coursing (Toothing), thereby showing the full dimension of the stones used. See Retaining

Wall Guideline for a more detailed explanation of corners. Corners are required to reflect the full depth of the stone and give the appearance of load bearing masonry.



Ornamental Metalwork

Ornamental metal is defined as metal stock used for the construction of gates, grills, handrails, guardrails, finials, roof ornamentation, shutter or door restraint, or other purposes where the workmanship of the metal is visible to the street.

Material:

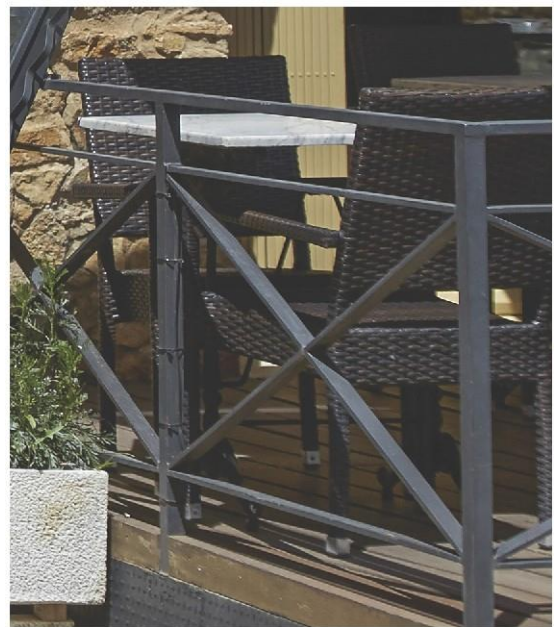
- Material general: Rustic, wrought iron appearance
- Material: Frames, grates, pickets, and structural components must appear to be Solid Bar Ferrous Metal (square, round, or other section). Structural tubular steel greater than 1/2" in diameter is allowed in areas visible to the street above the ground level.
- Panels: Panels must be metal plate.
- Finish: All metalwork finishes willshall be shop-applied oil rubbed, dark bronze, black iron, approved powder coating, or willshall give the appearance of another natural patina finish.
- Prohibitions: Brass or bronze unless approved prior to installation; polished brass and stainless steel finishes.

Dimensions

- Dimensions of all metalwork shall be appropriately scaled.
- Frames: Flat bar plate with 1/4 in thickness minimum
- Infill bars/ pickets: 1/2 in. minimum
- Panels: 1/4 in. min thickness

ArticulationAdditional Standards:

- Jointing: Welded or forged joints only. All welded joints are to be ground smooth.
- Other Decorative Treatment of Bar Stock: Twists or other manipulation of the bar stock, rosettes, circles, and other shapes which are employed to strengthen the metal fabrication are permitted.
- Mechanical fasteners are discouraged. Welded connections are preferred.



Gates

Gates are defined as opaque or see through passage doors at portal entries to activity or motor courts where such entry separates the court from a public way.

Wood Gates

Material:

- Approved Woods: Western Red Cedar, Spanish Cedar, Cypress, Alder or Mahogany
- Panels: All panels ~~are~~ shall be milled lumber
- Trim: All trim ~~is~~ shall be milled lumber or rough-cut cedar.
- Prohibitions: The use of sheet lumber (such as plywood, composite board or Masonite) for gate construction.

Dimensions:

- Frame Material Thickness: One-and-a-half (1 1/2) ~~inches~~, minimum (includes all structural members and facing/ planking except where a panel design is used)
- Panel Material Thickness: Three-quarters (3/4) ~~inch~~, minimum set in with an authentic sticking detail (no applied panels with offset applied trim). Panels ~~can~~ may be butted boards set in a wood channel.

Hardware:

- Handles: Rustic, wrought iron in appearance with or without embellishment.
- Hinges: Exposed strap hinges or pin hinges with oil rubbed or black iron finish.
- Finish: Oil rubbed or black iron finish.
- Prohibitions: Hidden leaf hinges, bright brass or bronze finishes.

~~Articulation~~ Additional Standards:

- Edges: All edges are routed, carved, or rough sawn. No use of applied molding to create edge details.
- Surface Construction: Planar, flat with visual expression of composing lumber units (such as butted vertical boards).
- Jointing: Clear indication of connection such as visual expression of mortise and tendon and or mechanical / wrought fastener / rivet.
- Visual Expression of Structure: Clear visual expression of gate leaf and the structure supporting it (such as cross bucks or frame).

Metal Gates

Material:

- Frame and Structure: Solid Bar (e.g., square or round section), Iron or Ferris Wrought Iron, or structural tubular steel.
- Panels: Metal plate.
- Prohibitions: Aluminum, vinyl, or polymer.

Dimensions:

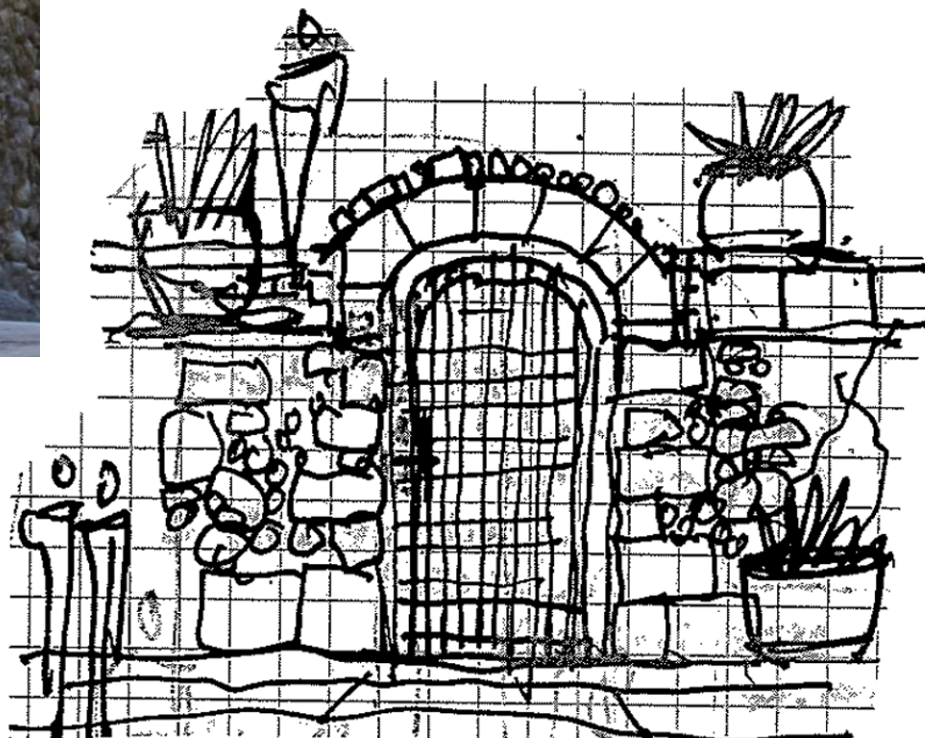
- Frames: One-quarter (1/4) inch thickness minimum flat plate or structural tubular steel with a minimum dimension of one-and-a-half (1-1/2) inches.
- Infill bars/ pickets: One-half (1/2) inch minimum.
- Panels: One-quarter (1/4) inch minimum.

Hardware:

- Handles: Rustic wrought iron with or without embellishment
- Hinges: Rustic, wrought iron exposed strap hinges or pin hinges. Integral welded hinges constructed as part of gate construction (such as tubular sleeves and pins) is also permitted.
- Finishes: Oil rubbed bronze or black iron finish.
- Prohibitions: Hidden leaf hinges, bright brass, bright bronze, or aluminum.

Articulation Additional standards:

- Jointing: Welded or forged joints only.
- Finials: Finials from solid stock and welded to solid or tube material.
- Finish: Oil finished iron or black painted iron (painted over a durable primer).
- Weld Joints: All welded joints are to be ground smooth.



Landscape:

- The approved Master Concept Landscape Plan and these [Design guidelines-Guidelines shall should](#) be used in [developing planning](#) all landscape designs [and their installation](#). ~~It is preferred the~~[The](#) landscape design [shall](#) uses drifted plant clusters instead of ornamental beds and [/_](#) or agricultural forms such as orchards or vineyards, [_](#) [unless otherwise reviewed and approved by the Town Manager or their designee](#).

- Trees: Mission Olive, Live Oak, Lacebark Elm, Chinquapin Oak, Red Oak, Vitex, Redbud, Possumhaw Holly, Desert Willow, Texas Sabal Palm, Windmill Palms, Italian Cypress, Yaupon Holly, Eastern Red Cedar, Caddo, Big Tooth Maples, and Eastern Red Cedar Burkii, Brodie, and Taylor in confined areas.

- Shrubs and Lower Plants: Dwarf Sabal Palm, Bottle Brush, Dwarf Wax Myrtle, Dwarf Yaupon Holly, Compact Texas Sage, Salvia greggi, Cephalotaxus, Podocarpus, Coralberry

- Xeric Plant Material: Red Yucca, Sotol, Softleaf Yucca, Color Guard Yucca, Agaves, Mexican Feathergrass, Pink Muhlygrass.

- Tropical Perennials for Pots: Brugmansia, Hibiscus, Bougainvillea, Geraniums, Esperanza, Plumeria, Datura



Mission Olive



Live Oak



Possumhaw Holly



Compact Texas Sage



Feathergrass



Italian Cypress



Red Yucca



Pink Mulygrass



Agaves



Sotol





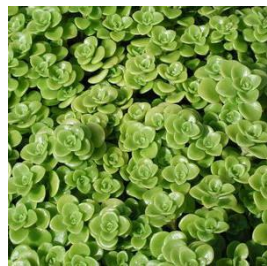
Lacebark Elm

Salvia Greggii

Softleaf Yucca

Color Guard Yucca

- Creeping Filler Plants: Sedums, Pink Skullcap, Pigeonberry, Trailing Rosemary, Oregano, Thyme, Trailing Lantana, Dwarf Katy Ruellia
- Vines: Crossvine, Confederate Jasmine, Evergreen Wisteria, Fig Ivy
- Perennials: Salvia species, Penstemon, Rudbeckia, Veronica, Blackfoot Daisy, Pavonia, Lantana, Turk's Cap
- Turf Grass: Buffalo grass, Thunder Turf, Bermuda grass, Lindheimer muhly grass, Little Bluestem, Sideoats Grama, and Indian grass



Sedum



Trailing Lantana



Fig Ivy



Lantana



Pink Skullcap



Dwarf Katy Ruellia



Salvia Species



Turk's Cap



Pigeonberry



Crossvine



Penstemon



Buffalo Grass



Trailing Rosemary



Confederate Jasmine



Rudbeckia



Thunder Turf



Oregano



Trumpet Vine



Blackfoot Daisy



Bermuda Grass



Thyme



Evergreen Wisteria



Pavonia



Veronica

Exterior Lighting:**Materials:**

- Materials General: Rustic, and wrought iron appearance.
- Materials: Ferrous metal (square or round section) or structural tubular steel for all structural frames where a structural frame is required. Otherwise, the approved materials are: steel, copper or brass, zinc in structural sections or sheet forms as necessary to craft the light fixture. Pole type light standards may be cast or wrought iron. All light standards and fixtures placed in association with (or visible from) along a public right-of-way or that are visible from a public right-of-way must shall be approved by the Town Manager or their designee. Wall or ceiling mounted lighting must be mounted with a wrought iron attachment.
- Styling: Spanish and Arts and Crafts are appropriate design styles.
- Prohibitions: Polished brass and stainless-steel finishes.

Mounting:

- Exterior Lighting: Exterior lighting may be pole mounted, column mounted, wall mounted, ceiling mounted, hanging, or bollards.

Location:

- Facades: All building entry facades and connecting side building facades at corner conditions must have a minimum of one dark sky compliant exterior lighting fixture meeting the standards for the Outdoor Lighting as found in the Town's Code of Ordinances.

Dimensions:

- Residential: Pole mounted, column mounted, wall mounted and hanging residential lighting fixtures are required to have a minimum of height of 16 inches, and a minimum width of eight (8) inches, excluding the ornamental top, bottom extension and mounting device.
- Residential Surface: Ceiling surface mounted residential lighting fixtures are required to have a minimum height of 12 inches, and width of eight (8) inches, excluding ornamental top and bottom extension and mounting device.
- Commercial: Pole mounted, column mounted, wall mounted and hanging commercial lighting fixtures are required to have a minimum height of 24 inches, and a minimum width of 12 inches, excluding the ornamental top, bottom extension and mounting device.
- Commercial Surface: Ceiling surface mounted commercial lighting fixtures are are required to have a minimum height of 12 inches, and a minimum width of eight (8) inches, excluding the ornamental top, bottom extension, and mounting device.

ArticulationAdditional standards:

- Light Source: Exterior lighting may be electrified or gas fueled. Gas fueled lights are normally required to be larger than electrified lighting. The above referenced dimensions are for electrified lighting. Therefore, gas lights ~~will~~shall have to be larger in each residential and commercial condition unless otherwise UL certified for gas use.
- Entries: Residential and commercial exterior doors are required to be illuminated.
- Brackets: The use of decorative metal brackets for wall hung fixtures in a compatible design style and finish is encouraged at entrances. The use of decorative side scrolls is encouraged for wall mounted light fixtures.
- Dark-Sky: Except as otherwise reviewed and approved by the Town Manager or their designee for the illumination of a tower feature, a water feature, or other similar aesthetic feature, all~~All~~ exterior lighting ~~must~~shall comply with the provisions for outdoor lighting as found in the Town's Code of Ordinances~~local dark sky policy requirements with the exception of tower or water feature illumination which are approved on a case by case basis.~~
- Glazing: Approved glass options are Clear or Seedy. Frosted glass ~~is~~shall be expressly prohibited. However, street lighting may have frosted glazing to obscure energy efficient light source.
- Electric Light Source: Visible electric source must be decorative. Mini -fluorescent light sources that are visible from the public way are prohibited.

Public Art:

Subject to a recommendation from the homeowners' association or the property owners' association, as applicable, and review and approval by the Town Manager or their designee, all public art and private art within Entrada shall be subject to the following design criteria.~~The Public Art For Entrada and other areas of Westlake should apply a consistent set of criteria in evaluating works of public art—whether sited permanently or temporarily—that are offered to the town, as well as works that the Town or its units proactively seek to add to the public environment. Essential to these criteria are the following:~~

- Relevance of the piece to the building or the Town and city, its values, culture, and people; AND
- The aesthetic significance of an individual work of public art or private art, provided that such aesthetic.~~Aesthetic~~ significance refers to the extent to which the proposed piece manifests the distinctive qualities of historical, emerging, or developing trends in the media / venue represented; AND
- The significance of the artist or artists; AND
- The relative uniqueness of the work of art, including factors of originality and authenticity, without deviation from a standard of excellence; AND;
- The ethical position occupied by the work of art, including consideration of provenance; AND;
- The contribution an individual work of art can be expected to make to Town's developing collection of public art and culture; AND;
- Appropriateness to the site, including (for outdoor sites) appropriateness to the site's adjacent architecture, landscape architecture, and aesthetic hardscaping, and landscaping. Public art in the public domain should interpret the Public space by making its scale and form a more tangible experience; AND;
- Appear to have influenced the architecture that defines public space, semi-public space, or possess sufficient presence to influence the defining infill development; AND;
- ~~The appropriate use of public resources, including funding, staffing, etc.~~
- The ~~Town's~~ ability of the Town, the homeowners' association, or the property owners' association as applicable to ~~assure~~ ensure the proper long-term care of the individual work of ~~public~~ art, including security, conservation, and maintenance; AND
- The safety of the work of public art, as well as the safety of users interacting with it; AND
- Where works of art come as donations, the Town's ability to manage effectively the long-term stewardship of donor relationships.

VILLAGE CORE

Exterior Walls Building Façades:

Exterior walls Building façades are defined as the exterior building walls of all buildings within, courtyard walls, retaining walls, decorative and screening walls throughout Entrada.

Material:

- Material General: All building facade façades vertical walls are required to shall be primarily natural, quarried stone, and three-coat stucco, cast stone, or brick in limited quantities. The use of three-coat stucco shall not exceed 20 percent of the total building wall area, with each building façade being calculated independently. Fired clay brick and wood siding may only be used as accent materials and shall not exceed 10 percent of the total building wall area, with each building façade being calculated independently. Use of stucco in the building elevation is limited to 40% of the street visible elevations within any commercial project, any residential block where homes have a common wall, or any detached residence. A residential block is a cluster of five lots or block of contiguous residential units.
- Prohibitions: The use of Exterior Insulating and Finish Systems (E.I.F.S.), fiberglass, metal, and /_or metal panels vinyl.
- Conditional Material Variances: The use of plaster, wood siding, Hardiboard siding, textured concrete masonry units, marble, granite, and/ or tile may be considered on a case by base basis cast stone on non-residential and mixed-use construction within the Building Height Waiver Sub-Area, shall be subject to review and recommendation by the Planning and Zoning Commission and approval by the Town Council. Cast stone and cut stone may only be used around openings for doors and openings for windows and shall be subject to review and approval by the Town Manager or their designee.



Dimensions:

- The dimensions for natural stone shall be as provided for retaining walls Refer to Retaining Walls: See guideline for Retaining Walls to address this issue.

Coursing and Patterning:

- Refer to Retaining Walls Coursing: Refer to Retaining Wall Guideline The coursing for approved natural stone shall be as provided for retaining walls as found in the Retaining Walls Guidelines coursing patterns. All stones laid in a course must be laid in the wall as they would lay on the ground. All stone should be coursed with chinking material used as course leveling where required.
- Patterning: Stone The natural stone patterns shall vary to a certain extent to mimic the generational masonry changes that would naturally occur in a Catalan or Southern European village.
- Prohibitions: River rock rubble, and overly regulated ashlar patterns as well as and mosaic patterns shall be expressly prohibited.

Opacity Openings:

- Void to solid ratio The front building façade (i.e., the building façade with the primary

entrance as is defined in the PD 1-2 Ordinance) shall have a limit for openings for doors and openings for windows:

- Residential: ~~40% void~~ shall have no less than 15 percent and no more than 40 percent of the total building wall area used for openings for doors and openings for windows.
- Non-residential and Mixed-use Commercial (upper stories and non-retail first floor only): 50% void shall have a minimum of 70 percent of the first floor building façade as measured between the finished floor and the finished ceiling used for openings for doors and openings for windows.
- Non-residential and Mixed-use above the first (upper floor(s): Shall have a maximum of 470 percent of the total building wall area used for openings for doors and openings for windows. ~~% void~~
- A minimum four-inch post shall separate multiple windows in the same rough opening to the satisfaction of the Town Manager or their designee.
- ~~Retail first floor: 65% void~~

Articulation Additional standards:

- Relation to the Street: Where employed, all building façades walls must shall make a strong edge with the street-scape in order to define and to support the public realm and the semi-public realm to the satisfaction of the Town Manager or their designee. Building Walls along the front or rear property lines must shall lay within the Build--To-Zone as specified in the Residential Development Guidelines.
- Surface: Planar, flat with visual expression of natural quarried stone, cast stone, brick, or cut stone surrounds at openings.

- Openings: All [wall-building façade](#) openings shall have full natural quarried stone, cast stone, brick, or cut stone returns at openings. In stucco walls, stucco returns are acceptable.
- Decorative Applications: The incorporation of decorative natural stone shelves, niches and carvings into the [wall-building](#) facade is [permitted and recommended highly encouraged](#).
- Corners: When using stone, wall corners [must shall](#) be laid so that the vertical courses interlock (Toothing), thereby showing the full dimension of the stones used.
- Prohibitions: Stacked joints at inside corners, outside corners, and intersection with wall openings.



All brick and natural stone exterior finish materials used on building façades, courtyard walls, and retaining walls shall not be painted and retain their integral color. Stucco and wood exterior finish materials only may be painted. ~~Painted or integrally colored~~ All painted surfaces should complement the shall be selected color palette provided in below. Equivalent colors or other colors shall be subject to a review and recommendation from the Planning and Zoning Commission and approval by the Town Council.





Restrained Gold SW 6129



Svelte Sage SW 6164



Avid Apricot SW 6639



Library Pewter SW 0038



Sierra Redwood SW 7598



Enduring Bronze SW 7055



Basil SW 6194

Towers

Location:

- Architectural Engagement: Towers or other vertical architectural elements ~~are recommended to be engaged with another structure~~ may be provided to stimulate visual interest and reinforce the unique community identity of Entrada.

Material:

- Tower Walls: ~~All tower facade vertical walls can~~ The building façades of all towers shall be natural quarried stone, cast stone, or cut stone. Other materials may be permitted at the third story and above, provided they have the appearance of the materials noted above and shall be subject to review and approval by the Town Manager ~~allowed above the second story upon review and approval of proposed design.~~ Wood may be used as accents on the tower walls.
- Prohibitions: The use of wood siding, ~~Hardiboard cementitious fiber board~~ siding, CMU visible concrete masonry units, marble, granite, fiberglass and metal panels.
- Tower Roof: Genuine, natural clay, color fast, 2-piece Mission barrel tile.
- Allowable color blends: See Roof Guidelines.
- Maximum roof slope: ~~unlimited~~ Unlimited, subject to review and approval by the Town Manager or their designee.
- Roof Form: Roof shapes may be hipped, domed or flat.
- Prohibitions: The use of dormers and metal roofing panels.

Dimensions:

- Thickness: Four (4) inches; minimum for all stone veneer. Other thicknesses may be allowed ~~above the second story at the third floor and above~~ upon review and approval of the proposed design by the Town Manager or their designee. (See Stone Wall Guidelines).

Wall Coursing and Patterning:

- Cut Stone Coursing Patterns: Cut, level, horizontally coursed stone, cast stone, or brick is required at all wall openings, door surrounds, window surrounds and building corners. In stucco walls, stucco returns may be allowed upon review and approval of proposed design.
- Natural Stone Coursing Pattern: See Stone Wall Guidelines.
- Corners: See Stone Wall Guidelines.
- Prohibition: Mosaic stone patterns or other non-load bearing masonry patterns

Opacity Openings:

- ~~Void to solid ratio~~ Limitation: No more than 40% percent of one (1) face of the tower wall area may be used for openings for doors and / or openings for windows ~~void~~.

Articulation:

- Landmark Status: The Tower(s) at Entrada are landmarks for the Town of Westlake as well as the development. As such, an attenuated proportion and decorative conclusion at the top is essential. The profile of the Tower, as well as its close up elevation, should be recognizable. Tower walls ~~should~~ shall emphasize a vertical composition to the satisfaction of the Town Manager or their designee.
- Surface: Planar, flat with visual expression of natural quarried stone, cut stone, cast stone, or brick surrounds at openings. In stucco walls, stucco returns may be allowed upon review and approval of proposed design by the Town Manager or their designee.
- Openings: All wall openings shall have full natural quarried stone, cut stone, cast

stone, or brick returns at openings. In stucco walls, stucco returns ~~shall be permitted are~~ acceptable.

- Decoration: The incorporation of decorative natural stone shelves, niches and carvings into the wall facade is highly encouraged. The incorporation of statuary is encouraged.

- Corners: Corners of the first two (2) stories of the tower are required to reflect the full depth of the stone and give the appearance of load bearing masonry. Cut stone corners

must be toothed into (coursed with) natural stone masonry in a manner that makes a structural and decorative edge.

- Bells: Bells may be placed in all towers, but the use of amplified speaker systems ~~is~~ shall be expressly prohibited.
- ~~Finials:~~ Finials: Decorative metal finials are allowed at all tower roof peaks and, if used, ~~are~~ required to shall meet the requirements outlined in the Ornamental Ironwork Guidelines.
- Hip Ridges: Hip ridges ~~are required to have~~ shall require a mortar build up, of sufficient height, to allow field tile to butt into the mortar yet allowing ridge tiles to be vertically separated from the field tiles. Ends of hip ridges are required to use layers of tiles to match mortar build up.
- Building Mechanical Screening: ~~Building Mechanical~~ mechanical equipment ~~is required to shall~~ be screened on all ~~and must not be visible from public right of ways~~.
- Roof penetrations: Plumbing roof penetrations ~~should shall~~ be limited, and they shall not be visible from any street, civic space or canal. All plumbing vent piping must be painted to match roof color and have a low profile.
- Prohibitions: Visible cell phone relays.
- Concealment of cell phone relays must shall not create additional architectural forms or devices that are not normally part of a tower design that did not require such screening.

Door Surrounds

Door surrounds are defined as the decorative articulation of a door opening. The door surrounds are the decorative frame which define the portal and presents the door or gate.

Materials:

- **Lentil Material:** Door lintels must be structural and are required to be single piece full width natural quarried stone, single piece full width heavy timber, cast stone, or brick that appears to be structural. Brick is allowed only when used in arches. Arches, including segmented arches and flat or jack arches, are allowed over openings. In stucco walls, expressed lentils may not be required upon review and approval of proposed design by the Town Manager or their designee.
- **Lentil Prohibitions:** The use of natural thin set stone veneer products and man-made thin set stone, plaster, EIFS, wood siding, cementitious fiber board siding, concrete masonry units CMU, marble, granite, fiberglass and metal panels. The use of exposed steel angle lintels is expressly prohibited unless required by the project engineer (or the structural engineer) for life safety purposes and approved by the Town Manager or their designee.
- **Jamb Material:** All door surround jambs are required to be natural, quarried stone, cast stone, or brick. In stucco walls, stucco jambs may be acceptable upon review and approval of proposed design.
- **Jamb Prohibitions:** The use of natural thin set stone veneer products, man-made thin set stone, stucco, plaster, EIFS, brick, wood siding, Hardiboard cementitious fiber board siding, concrete masonry units CMU, marble, granite, fiberglass and metal panels.

Dimensions:

- **Primary-Principal Entrance Recess:** Doors must shall be recessed a minimum of eight (8) inches from face of door to face of door surround. Each principal building shall require a principal entrance as defined in the PD 1-2 Ordinance. A minimum of one Primary Entrance is required per building.
- **Stone Lentil Dimension:** Stone lintels are required to shall be eight (8) inches- tall minimum.
- **Wood Lentil Dimension:** Wood lintels are required to shall be eight (8) inches- tall minimum.
- **Stone Lentil Bearing Support:** Stone lintels are required to overlap the supporting jamb by a minimum of six (6) inches-
- **Wood Lentil Bearing Support:** Wood lintels are required to overlap the supporting jamb by a minimum of six (6) inches-
- **Brick Lentil Bearing Support:** Brick lintels are required to overlap the supporting jamb by a minimum of six (6) inches-

Coursing and Patterning:

- **Stone:** Stone lintels may be cut square, or be more free form in their shape.
- **Wood:** Wood lintels are required to shall be level and interlocked with horizontally coursed stone or brick.
- **Jamb:** Cut, level, horizontally coursed natural stone or brick is required at all door jamb openings. In stucco walls, stucco jambs are acceptable upon review and approval of the proposed design.

Articulation Additional Standards:

- **Styling:** Door surround designs should shall be compatible with the design of the building the entrance serves.
- **Relation to Structural Purpose:** Door lintels are required to shall be capable of supporting

- Arched Lintels: Arched door lintels may be segmented or carved from a single piece of stone.
- Scale of the Surround: The actual scale of the door surround should be visually in tune with the perceived weight the actual surround is supporting. There should be a clear visual sense that the weight of masonry over the opening and can be structurally supported by the surround.
- Decoration: The incorporation of decorative niches and carvings into the door surround is highly encouraged.



Window Surrounds

Materials:

- Window Lintel: Window lintels may be single piece full width natural quarried stone, single piece full width heavy timber, cast stone, terra cotta, or brick that [is structural or that](#) appears to be structural. Brick is allowed only when used in arches. Arches, including segmented arches and flat or jack arches, are allowed over openings. In stucco walls, expressed lintels may not be required upon review and approval of proposed design [by the Town Manager or their designee](#).
- Lintel Prohibitions: The use of natural thin set stone veneer products and man-made thin set stone, EIFS, wood siding, [Hardiboard-cementitious fiber board](#) siding, [concrete-masonry unitsCMU](#), marble, granite, fiberglass and metal panels; the use of exposed steel angle lintels unless required by the project engineer for life safety purposes and approved by the Town.
- Window Jambs: All window surround jambs, are required to be natural, quarried stone, cast stone, or brick. In stucco walls, stucco jambs may be acceptable upon review and approval of proposed design.
- Jamb Prohibitions: The use of natural thin set stone veneer products, man-made thin set stone, EIFS, wood siding, [Hardiboard-cementitious fiber board](#) siding, and fiberglass.
- Window Sills: All window sills are required to be natural quarried stone, cast stone, terra cotta, or brick.
- Sill Prohibitions: The use of natural thin set stone veneer products and man-made thin set stone, EIFS, wood siding, [Hardiboard-cementitious fiber board](#) siding, [concrete-masonry unitsCMU](#), marble, granite, fiberglass and metal panels.

Dimensions:

- Window Recess: Windows must be recessed a minimum of [six \(6\) inches](#) from face of window sash to face of exterior surround.
- Stone Lintel: Stone lintels are required to be [eight \(8\) inches](#) tall minimum.
- Wood Lintel: Wood lintels are required to be [eight \(8\) inches](#) tall minimum.
- Brick Lintel: Brick lintels are required to be [eight \(8\) inches](#) tall minimum.
- Cast stone Lintel: Cast stone lintels are required to be [eight \(8\) inches](#) tall minimum.

Coursing and Patterning:

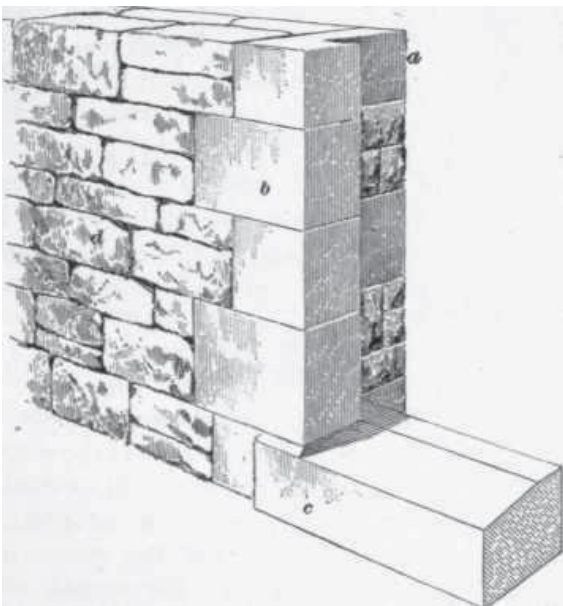
- Stone Lintels: Stone lintels may be cut square or be more free form in their shape.
- Wood Lintels: Wood lintels [are required to shall](#) be level and interlocked with horizontally coursed stone.

Jambs:

Cut, level, horizontally coursed stone, carved natural stone, cast stone, stucco, or brick is required at all window jamb openings. Full window surrounds are encouraged but not required based upon review and approval of proposed design.

Articulation:

- Surrounds: Window surround designs should be compatible with the design of the building the window serves.
- Wood Lentils: Window lintels are required to appear to be capable of supporting a structural load.
- Arched Lentils: Arched window lintels may be segmented or carved from a single piece of stone or be made of cast stone.
- Scale: The actual scale of the window surround should be visually in tune with the perceived weight the actual surround is supporting.
- Decoration: The incorporation of decorative niches and carvings into a window surround is highly encouraged.



Exterior Doors

Exterior Doors are defined as passage between the exterior and interior of any residential or non-residential space (conditioned or unconditioned).



Commercial Exterior Entrances

Material:

- General: All primary, exterior entrance doors and frames are required to be wood, iron, or pre-finished black or dark bronze aluminum. All aluminum storefront frames are required to have a stepped profile trim. Commercial exterior entrances are allowed to be frameless glass upon review and approval of proposed design.
- Wood: Approved woods are Oak, Alder, Poplar, Cypress, Clear Pine, Clear Cedar, Cherry, Teak or Walnut.
- Wood Production: All units are milled or rough cut lumber
- Wood Trim: All trim is milled lumber or aluminum clad milled lumber.
- Prohibitions: Plywood, composite board, vinyl, stamped or formed metal, or fiberglass.
- Iron: Rustic, wrought iron appearance
- Iron Production: Frames constructed with structural tubular steel. All panels must be iron plate. All ironwork finishes [will shall](#) be oil rubbed bronze, dark bronze, or black iron.
- Iron Prohibitions: Polished brass and stainless steel finishes and stamped or formed steel/ iron.

Dimensions:

- Wood Door Thickness: 1 3/4 in. minimum.
- Wood Panels: 3/4 in. minimum set in with an authentic sticking detail. Panels can be butted boards set in a wood channel.
- Wood Stiles: 4 1/2 in. minimum
- Wood Top Rail: 4 1/2 in. minimum.
- Wood Bottom Rail: 7 1/2 in. minimum.
- Iron Frames: Flat bar plate with 1/4 in thickness minimum or structural tubular steel
- Iron Infill bars/ pickets: 3/8 in. minimum
- Iron Panels: 3/16 in. min thickness

Opacity

- Void to solid ratio: None specified
- Glazing: Glazing is preferred to be 1/2 and 3/4 light panel styles.

Articulation

- Wood Edges: All edges are routed, carved, or rough cut.
- Frames: Frames and doors are required to be recessed a minimum of 8 in., from face of frame to face of door surround in primary entrances only.
- Surface: Planar, flat with visual expression of composing lumber units (such as butted vertical boards).
- Jointing: Clear indication of connection such as visual expression of mortise and tendon and or mechanical/ wrought fastener/ rivet.
- Glazing: Glazed areas must have divided lites. Divided lites may be achieved by surface applied muntins at least 1/2" deep and 1" wide at both the interior and exterior. Glazed openings in the door are not required to have an approved decorative iron grille. Glazing is limited to clear or seeded finish.



Commercial Exterior Service Doors

Material:

- General: Exterior, service and back-of-house doors and frames, are defined as Commercial Exterior Service Doors.
- Material for Qualifying Doors: Exterior, service and back-of-house doors may be hollow metal, heavy gauge aluminum or steel, or wood. Other materials may be allowed on a case by case basis.
- Frames: Frames for service doors may be dark bronze or black metal.

Dimensions:

- Door Thickness: 1 3/4 in. minimum.
- Frame Thickness: 2 in. minimum.
- Gauge: 20 ga.
- Door Height: 8 ft. maximum.
- Door Width: 10 ft. maximum per opening.

Opacity:

- Void to solid ratio: Glazing is prohibited in exterior service doors, except where used as a security window.

Articulation:

- Surface: All exterior service and back-of-house doors that are not visible to the street may be flush front doors with welded connections. Doors visible to the street must have an articulation that is similar to other doors that are visible to the street (panel, etc.) per photos on the following page.
- Mechanical Grilles: Mechanical grilles mounted within the door are allowed but must be painted to match door finish. Mechanical grille sizes are limited to 40% of the surface area of each door.
- Prohibitions: Wrap-around frames on exterior walls.



Commercial Exterior Door Hardware

Exterior Door Hardware is defined as passage sets, lock sets, locks, kick plates, pull handles, emergency exit bars, hinges, and sills associated with residential or commercial entrances as well as garage doors and commercial exterior service doors.

Materials:

- General: Ferrous metal (square or round section) or heavy gauge formed steel with welded joints
- Surface: Rustic wrought iron appearance
- Styling: Spanish and Arts and Crafts are appropriate design styles.
- Finish: All hardware finishes will/shall be oil rubbed, dark bronze or black iron or other natural patina finish.
- Thresholds: Thresholds are milled timber, natural stone, cast stone, or dark bronze or black anodized metal.
- Prohibitions: Brass or bronze material; polished brass and stainless steel finishes

Door Entry Sets:

- Handle: Doors must have a lever or large handle pull operating system.
- Back Plates: Minimum 8" high back plates are required with the operating system of choice.
- Prohibitions: Round knobs

Hinges:

- Hinge Type: The use of H-shaped hinges, butt hinges with decorative finials, or strap hinges is required if seen on the exterior.
- Prohibitions: If visible from the exterior, the use of butt hinges without decorative finials

Accessories:

- Metal Strapping: The use of decorative wrought iron strapping in a compatible design style and finish is encouraged at the primary commercial entrance.
- Decorative Elements: Decorative studs, antique nails and door buttons in a compatible design style and finish are appropriate and permitted.
- Kick Plates: Wrought iron or plate steel kick plates in a compatible design style and finish are permitted.



Exterior Windows

Exterior Windows are defined as the frame, casement, sash, sill, jamb, head, and glazed lites of glazed openings in an exterior wall separating in interior space from the exterior.

Residential and Commercial (commercial windows are any glazed opening in commercial structure that is not designated as “store front”)

Material:

- General Material: All residential window frames are required to be wood or prefinished aluminum clad wood units. Commercial windows are allowed to be dark bronze or black anodized aluminum with an edge dimension similar to residential windows.
- Wood Material: Approved woods are Alder, Oak, Poplar, Cypress, Clear Pine, Clear Cedar, Cherry, or Walnut.
- Prohibitions: Plywood, composite board, vinyl and fiberglass

Glazing:

- Divided Lites: Glazed areas must have divided lites. Divided lites may be achieved by surface applied muntins at least 1/2” deep and 1” wide at both the interior and exterior.
- Finish: Glazing is limited to a clear or seeded finish.

Articulation

- Edges: All edges are routed or carved, or applied prefinished aluminum trim with stepped profile.
- Divided Lites: Glazed areas must have divided lites. Divided lites may be achieved by surface applied muntins at least 1/2” deep and 1” wide at both the interior and exterior.



Retail Storefronts

Retail Storefronts are defined as the glazed retail display windows associated with retail establishments.

Location:

- Within Building: Ground level retail storefronts or second floor balconies or colonnades

Material:

- Frames: All window frames are required to be wood, aluminum clad wood units or prefinished aluminum.
- Wood Material: Approved woods are Alder, Oak, Poplar, Cypress, Clear Pine, Clear Cedar, Cherry, or Walnut.
- Wood Production: All wood units are milled lumber or aluminum covered milled lumber.
- Trim Production: All trim is milled lumber, aluminum clad milled lumber or prefinished aluminum with stepped profile.
- Prohibitions: Plywood, composite board, vinyl, or fiberglass
- Glazing: Clear or seeded glass is allowed or tinted glass upon approval. Spandrel glazing is allowed in appropriate locations.

Articulation

- Edges: All edges are routed or carved, or applied prefinished aluminum trim with stepped profile.
- Divided Lites: Glazed areas must have divided lites. Divided lites may be achieved by surface applied muntins at least 1/2" deep and 1" wide at both the interior and exterior.



Gallery and Porch Soffits

Gallery and porch soffits are the closure of the underside of a flat or arched cover or projected overhang. The soffit includes any beaming or bracketing that supports the closure.

Materials:

- General: Approved materials include natural, quarried stone, two layer stucco on solid masonry, three layer stucco on lath, plaster on solid masonry, plaster on lath, or heavy timber beams with milled tongue and groove decking.
- Wood Material: Approved woods are Alder, Western Red Cedar, Spanish Cedar, Cypress, or Mahogany.
- Prohibitions: The use of natural thin set stone veneer products and man-made thin set stone, brick, Hardiboard, concrete masonry units, marble, granite, fiberglass and metal panels.

Dimensions:

- Wood Beams: 4 in. x 6 in. minimum. The 6 in. dimension listed is the width of the beam, not the visible depth.
- Wood Decking: 1 x 4 tongue and groove.

Articulation:

- Design: Soffit designs may be flat, arched, vaulted, groin vaulted, or combinations of approved designs.
- Structural Integrity: Where employed, wood beams and decking are required to be capable of supporting a structural load.
- Decoration: The incorporation of decorative elements, painted designs, reliefs or carvings in the soffit assembly is highly encouraged.
- Coordination of Control and Expansion Joints: In assemblies that require control or expansion joints, care should be used to align joints with structural elements and other significant architectural interactions. The placement of control joints should visually reflect the scale of the height and width the soffit area. Control joints may be incorporated to create decorative patterns including diagonal or diamond shapes on the soffit plane.
- Venting: Requirements for soffit venting, where possible, should be located in inconspicuous areas such as reveals, coves or material intersections

Pitched Roofing

Materials:

- Material general: Genuine, natural clay, color fast, 2-piece Mission barrel tile
- Allowable color blends: Allowable color blends shall be those which substantially match the sample roof assembly approved by the Town. Deviations from the approved sample(s) must be approved by the Town.

Location:

- All pitched roofs.

Dimensions/ Slope:

- Maximum roof slope: 6:12, unless otherwise approved

Roof Shapes:

- Gable: The preferred roof shape is gabled. Hip style roofs are discouraged and only allowed in situations where a hip is necessary to mechanically execute the roof in an efficient manner. Multi-level complex roof line profiles should be used when possible. The objective is to have discrete roof forms and clearly articulated, simple roof planes.
- Prohibitions: The use of dormers, unless otherwise approved; and wild pitches, sloping ridges, and cut off hips as a means of solving roof closure designs.

Articulation:

- Mortar Build Up: Gable and hip ridges are required to have a mortar build up of sufficient height to allow field tile to butt into the mortar yet allowing ridge tiles to be vertically separated from the field tiles.
- Ridges and Gable Ends: Ends of gable and hip ridges are required to use layers of tiles to match mortar build up.
- Field Tiles: Field tiles can have random mortar boosts.
- Closure: If acceptable to roof manufacturer and able to be warrantied, the closure of barrel tile at the eave is allowed to be mortar in lieu of matching bird stop.
- Screening: Mechanical equipment is required to be screened and must not be visible from public right of ways.
- Roof Penetrations: Plumbing roof penetrations should be limited and should not be visible from public right of ways. All plumbing vent piping must be painted to match roof color.



Flat Roofing

Materials:

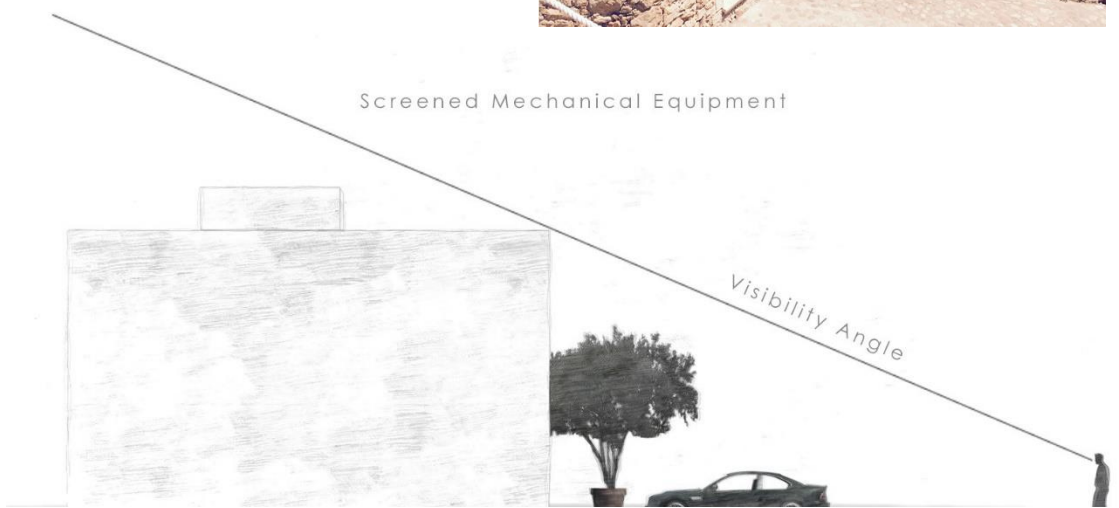
- **Materials General:** Flat Roofs may be a built up bituminous roof or a membrane roof system installed. Installation shall conform to manufacturer's specification and qualify for manufacturer's warranty. A minimum pitch, flat seam metal roof may be used where a flat roof is desired.

Location:

- **Non-residential Structures:** Flat roofs may be employed in larger non-residential structures where such roofs allow execution of a pitched roof elevation that is more typical of the Catalonian/European archetype. In such cases, the flat roof segment of the construction must be concealed behind pitch roof forms that act as a type of parapet.
- **Residential Structures:** Flat roofs may be used on accent and subordinate architectural forms.

Articulation:

- **Parapet:** All flat roof conditions, not screened by pitched roof forms, are required to have parapet with a minimum height of 12 in.
- **Parapet Cap:** All parapet walls are required to be capped with natural or cast stone and appropriate flashing and counter flashing. Mechanical equipment located on flat roofed areas is required to be screened and must not be visible from public right of ways.
- **Roof Penetrations:** Plumbing roof penetrations should be limited. All plumbing vent piping must be painted to match roof color.



Building Cornices

A building cornice is defined as a horizontal decorative molding that closes the connection between the vertical exterior wall and roof edge or roof edge cap.

Materials:

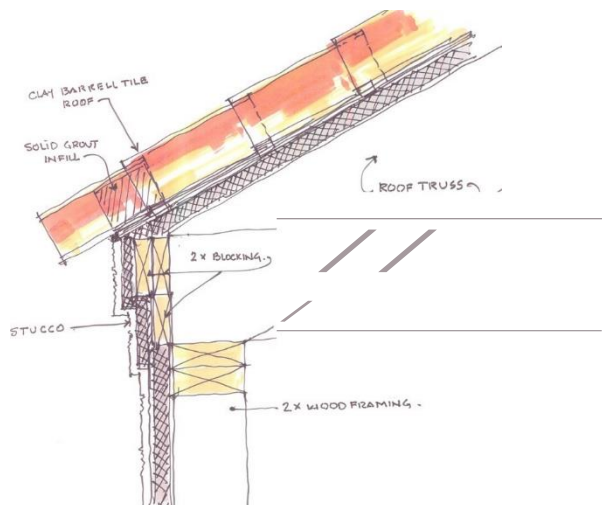
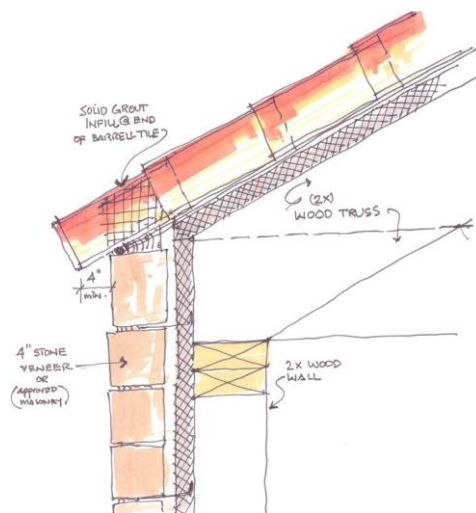
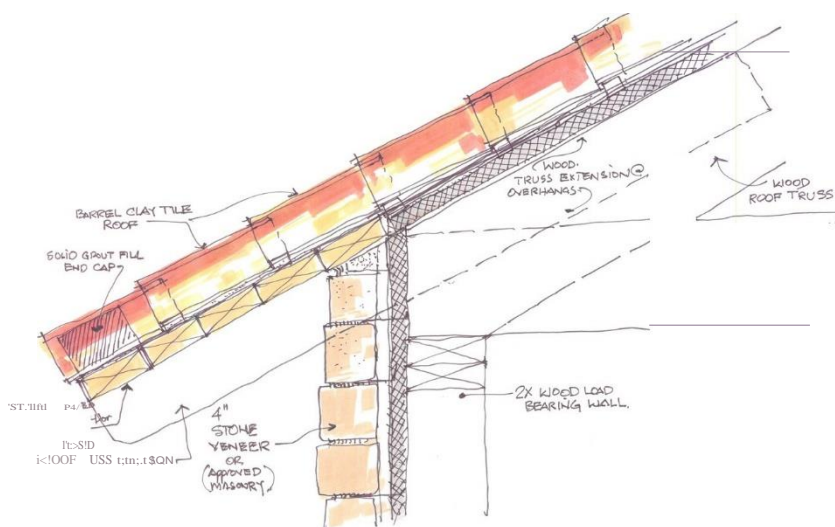
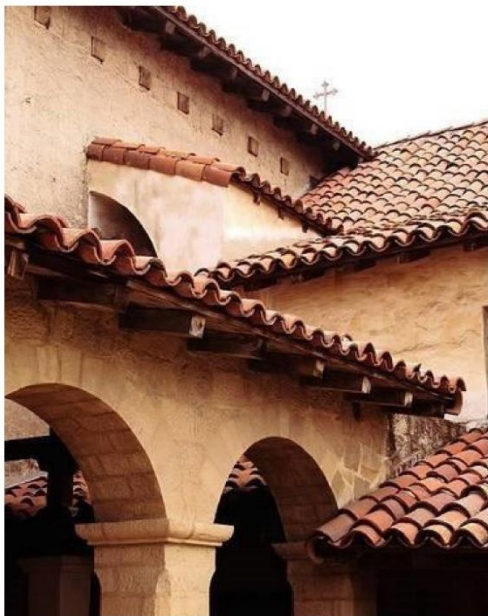
- Cornices without a Roof Overhang: Approved materials include natural quarried stone, cast stone, natural clay tile and barrel mission natural clay roof tile. This cornice is accomplished with minimal use of a fascia board.
- No Roof Overhang Condition Prohibitions: The use of Hardiboard, concrete masonry units, marble, granite, fiberglass and metal panels and the use of enclosed or boxed cornices
- Cornice with a Roof Overhang: Heavy timber beams with milled tongue and groove decking. Approved woods are Alder, Western Red Cedar, Spanish Cedar, Cypress, or Mahogany.
- Roof Overhang Condition Prohibitions: The use of concrete masonry units, marble, granite, fiberglass and metal panels; flat soffits, visible masonry pockets.

Dimensions:

- Wood Beams: Beams: 4 in. x 6 in. minimum.
- Wood Decking: 1 in. x 4 in. x 3/4 in. tongue and groove.

Articulation:

- Styling: It is the intent of this guideline to maintain the appearance of load bearing masonry construction by minimizing a traditional "masonry pocket" common to masonry veneer construction. The diagrammatic cornice/eave details on page 53 illustrate this intent. A traditional masonry pocket detail is prohibited and use of a detail consistent with the diagrams on page 53 is encouraged.
- Projected Detail: Traditional stone cornices often featured projecting coursed stone, clay tile, brick, and/or clay roofing tile accents. Cast stone is also allowed.
- Wood Timbers: The use of decorative heavy timber wood rafter tails and corresponding milled wood decking is another design option. Wood rafters allows for larger overhangs. Where employed, wood rafters and decking are required to be capable of supporting a structural load.
- Scale of Wood Rafters: The actual scale of the wood rafters should be visually in tune with the perceived weight the actual assembly is supporting.
- Full stone cornices: Natural quarried stone and cast stone assemblies are required to be capable of supporting a structural load.
- Roof Tile Cornice: The use of roof tile in the cornice design is highly encouraged.
- Decoration: The incorporation of decorative elements, painted designs, reliefs or carvings in the soffit assembly is highly encouraged.
- Coordination of Expansion and Control Joints: In assemblies that require control or expansion joints, care should be used to align joints with structural elements and other significant architectural interactions.
- Incorporation of soffit venting: Requirements for soffit venting, where possible, must be located in inconspicuous areas such as reveals, coves or material intersections.
- Intent: Load-bearing masonry wall appearance through construction details which yield a masonry closure similar in visual effect to that indicated in the images on the following page. Conventional masonry pocket details are prohibited.
- Roof tile closure at the soffit edge shall be mortar filled. Plastic bird stops are prohibited.



Fireplaces and Chimneys

A chimney is defined as any externally visible portion of the firebox and flue assembly of a fireplace.

Materials:

- **Materials General:** Fireplaces or flue containments must be full masonry construction or Isokern modular masonry fireplace systems. Metal inserts are allowed where fireplaces must be built over or above any wood-frame structural component such as a basement span or upper floor wood framing member. Exterior chimneys are required to be full masonry.
- **Full masonry** shall mean the building of structures from individual units laid in and bound together by mortar. Full masonry is installed by a mason as opposed to material that is spread onto or adhered to a supporting structure.

Fireplace and Chimney Locations:

- **Chimney:** While a fireplace is not required, each residential unit or commercial building is required to have a minimum of one chimney. All chimney exterior facades are required to be full masonry.
- **Prohibitions:** The use of man-made products at chimney exterior assemblies. Cast stone is allowed.
- **Chimney Cap:** Spark arrestors are required to be contained within full masonry construction. All chimneys are required to have a decorative chimney cap.

Articulation:

- **Variety in Appearance:** Chimney design may vary from utilitarian to highly ornate.
- **Use of Roof Tiles:** Chimneys topped with tile roofs are encouraged.
- **Chimney Pots:** The use of natural clay chimney pots topping the chimney is allowed.
- **Decorative Openings in the Cap:** Clay tile framed chimney openings or decorative portals, both decorative and practical, are desired. Stone arched openings are encouraged at chimney crowns.



Gutters, Downspouts, Collection Boxes and Scuppers

Material:

- Material General: All gutters, gutter hangers, downspouts, downspout wall clips, scuppers and collection boxes are required to be prefinished galvanized Kynar 500 or Hylar 500 aluminum, minimum 20 gauge, in dark bronze or metallic copper or authentic copper.

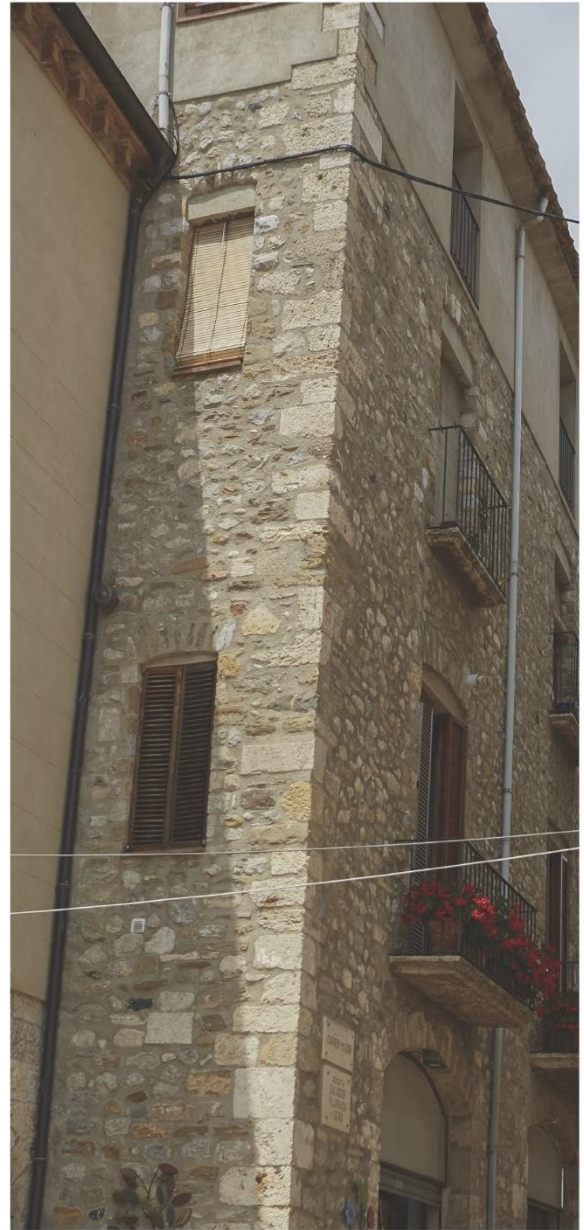
Dimensions and Shape

- Gutters, if provided: 6 in. minimum half-round profile.
- Downspouts: 4 in. minimum plain round.
- Elbows and Bends: 4 in. minimum plain round.

Articulation:

- Gutter Jointing: All horizontal joints are required to be soldered, or mechanically fastened and concealed with similar metal straps, except for expansion joints.
- Downspout Jointing: Vertical downspout sections, elbows and bends may be slip jointed and/or riveted if rivets are concealed. Collection boxes are permitted in the vertical downspout assembly.
- Gutter End: All joints must be soldered or mechanically fastened and concealed with similar metal straps.
- Gutter Hangers: All gutters are required to be supported by compatible roof mounted strap hangers. The use of fascia hangers is prohibited.
- Concealed Gutters: In lieu of exposed gutters and downspouts, gutters may be built into the eave assembly provided that the resulting eave/cornice detail is compatible with the Catalonian/European archetype.
- Scuppers: Thru wall parapet scuppers are required to be covered by decorative collection boxes. Overflow scuppers are exempted from this requirement.
- Fasteners: All visible screws, nails or bolts used to connect downspouts or collection boxes to their surrounding substrate must be of compatible style, finish and appearance.





Balconies

Balconies are defined exterior platforms enclosed by a wall or balustrade which extends from the upper floor of a building. Juliet balconies do not protrude from the building, but include a balustrade only at the front.

Assemblies:

- Concrete Section: Concrete slab with or without stone, steel or wood support brackets. Exposed concrete, tile or other approved materials are acceptable as the floor finish
- Steel Section: Steel grate or plate floor with stone, steel or wood support brackets. Steel decked balconies may also incorporate a concrete topping slab as a finished surface or as a supporting substrate for tile or other approved material.
- Wood Section: Wood decking floor with stone, steel or wood support brackets. Wood decked balconies may also incorporate a concrete topping slab as a finished surface or as a supporting substrate for tile or other approved material.
- Period Structural Support: Any balcony with a projection over 1 ft. requires a functional or ornamental support structure made of wood, stone, or wrought iron.

Materials and Finishes:

- Approved Finish Floor Material: Concrete, tile, stone, or wood are approved balcony floor finish materials. Naturally finished concrete, integrally colored concrete or acid stained concrete are acceptable concrete finishes. Approved tile includes natural quarried stone, terracotta, hand painted ceramics, glass mosaics, Mexican saltillo and natural material inspired porcelain.
- Use of Stone: Approved balcony stone supports and stone balustrades are required to be natural, quarried stone or cast stone.
- Use of Steel: Steel grates, plate, balcony frames and supports are required to be of rustic, wrought iron appearance. All metal components are required to be ferrous metal (square or round section) or structural tubular steel. Panels must be iron plate.
- Iron Work Finish: All ironwork finishes will/shall be oil rubbed, dark bronze, black iron, or shop applied natural patina finish.
- Use of Wood: Heavy solid timber beams with milled tongue and groove decking are approved. Approved woods are Alder, Western Red Cedar, Spanish Cedar, Cypress, or Mahogany.
- Prohibitions: The use of Hardiboard, concrete masonry units, and fiberglass; and polished brass and stainless steel finishes

Guardrails:

- Iron: Ornamental iron work as defined under the "Ornamental Ironwork".
- Stone: Natural, quarried carved stone balustrade and railing or cast stone
- Wood: Crafted wood with heavy corner posts, a top rail and thinner vertical balusters. Balusters and corner posts may be carved.

Dimensions:

- Projecting balconies are required to have a minimum perimeter edge depth of 3".

Articulation:

- **Concrete:** Projecting concrete balcony edge designs may be square edged in combination with an enhanced decorative edge, reveal or carving. If not carved, all other design must be cast in place.
- **Stone Supports:** Where employed, stone balcony supports are required to be capable of supporting a structural load. The actual scale of the stone balcony support should be visually in tune with the perceived weight the actual assembly is supporting and substantially consistent with the Catalonian/European Archetype.
- **Iron Balcony Supports:** Where employed, steel balcony supports are required to be capable of supporting a structural load with a 2 in. minimum thickness/depth of structural members. The actual scale of the steel balcony support should be visually in tune with the perceived weight the actual assembly is supporting and substantially consistent with the Catalonian/European Archetype.
- **Wood Balcony Supports:** Where employed, wood beams and decking, are required to be capable of supporting a structural load. The actual scale of the wood beams should be visually in tune with the perceived weight the actual assembly is supporting and substantially consistent with the Catalonian/European Archetype.
- **Decoration:** The incorporation of decorative elements, painted designs, reliefs or carvings in the balcony assembly is highly encouraged.
- **Coordination of Control and Expansion Joints:** In assemblies that require control or expansion joints, care should be used to align joints with structural elements and other significant architectural interactions. Control joints may be incorporated to create decorative patterns including diagonal or diamond shapes on the balcony floor plane.



Awnings

Material:

- Canvas: Commercial grade, weather resistant, integral color canvas. Canvas may be solid colors, stripes or patterned. Supported by a wrought iron frame. Canvas awnings may be retractable provided they are commercial grade and have integral enclosure and if approved by the Town.
- Wood: Approved woods are Alder, Western Red Cedar, Cypress, Spanish Cedar or Mahogany.
- Metal: Metal awnings are permitted. Colors to be approved by the Town at Site Plan submittal.
- Wood Production: All components are milled lumber or rough cut cedar.
- Trim Production: All trim is milled or rough cut lumber or rough cut cedar.
- Prohibitions: Plywood, composite board, polymer fabric, and Masonite

Hardware:

- Supporting Structure: Rustic, wrought iron, tubular steel, or aluminum with or without welded embellishment, with oil rubbed dark bronze, black iron, or shop applied natural patina finish.
- Decorative Iron Wall Mounted Supports: The use of rustic, wrought iron spear shaped arms, in a bronze or black finish, projecting from the stone wall to the awning is the preferred method of support for all awnings. Decorative rustic, wrought iron scrolls are an acceptable support.

Articulation:

- Valances: Awning valances may be straight, scalloped or other decorative device.
- Relationship to opening served: Awning size must be compatible with the opening size served by the awning.
- Signage: Awnings may include signage, advertising, logos and other informational graphics when in a commercial use.
- Prohibitions: Internally back lit awnings



Shutters

Material:

- Material: Approved woods are Alder, Western Red Cedar, Cypress, Spanish Cedar or Mahogany.
- Material Production: All components are milled or rough cut lumber
- Trim Production: All trim is milled or rough cut lumber.
- Prohibitions: Sheet lumber, composite wood products, cementitious trim products, and Masonite

Dimensions:

- Frame Thickness: 1 1/2 in. minimum (includes all structural members used for "panel type shutters" and planks used for "board type shutters")
- Panels: 3/4 in. minimum set in with an authentic sticking detail (no applied panels with offset applied trim). Panels can be butted boards set in a wood channel.

Hardware:

- Pull Rings: Rustic, wrought iron or cast construction with or without welded embellishment and oil rubbed, dark bronze or black iron finish or other shop applied natural patina finish; Provide one per shutter, mounted directly to shutter
- Hinges: Rustic, wrought iron, exposed strap hinges or pin hinges, oil rubbed, dark bronze, black iron finish, or other shop applied natural patina finish; mounted directly to stone surround or window frame. Provide two per shutter minimum.
- Tie-Backs: Rustic, wrought iron with or without welded embellishment and oil rubbed, dark bronze, black iron finish, or shop applied natural patina finish. Tie-backs options include propeller style, mounted directly to the stone wall by lag or plate; propeller style sill mount that are connected directly to the window sill stone or hook and staple, mounted from the window sill stone; and hooked at the shutter. Provide one tie-back per shutter.
- Shutter Locks: Rustic, wrought iron, exposed sliding bar lock, oil rubbed, dark bronze, black iron, or shop applied natural patina finish; Provide one lock per pair of shutters mounted directly to shutters.

Articulation:

- Styling: Shutter designs are limited to multi-panelled or board and batten assemblies.
- Operation: Shutters are not required to be operable, but they must appear as such.
- Edges: All edges are to be routed, rough cut, or carved, or applied molding shall be used to create the edge detail.
- Surface: Planar, flat with visual expression of composing lumber units (such as butted vertical boards).
- Jointing: Clear indication of connection such as visual expression of mortise and tendon and or mechanical/ wrought fastener/ rivet.
- Relationship to Window Size: If shutters are used, window width openings of 18 in. and smaller may use only one shutter leaf to cover the window. Window width openings over 18 in. are required to have a pair of shutters cover the window. Shutter size must be compatible with window size or opening size.
- Prohibitions: Bermuda style shutters, louver style shutters



Signage

Signage is defined as detached or building mounted presentation of a message which identifies a commercial tenant, development project, assists with wayfinding, or informs the reader.

Types:

- **Site Signage:** Site signage announcing the project and tenants located within the boundaries of the project. Monument signage with a larger height than width that is able to be seen from surrounding roadways, including Highway 114, is allowed. Business monument signage is allowed as provided in Ordinance 703, Section 12. Actual locations and design of site signage to be approved by the Town prior to erection of any sign.
- **Street Signage:** Signage identifying the streets throughout the development
- **Tenant Signage:** Individual retail tenant signage identifying the tenant, products and/or presenting a business logo.
- **Building Identification Signage:** Buildings with single or multiple tenants.

Materials:

- **Stone:** Natural quarried stone or cast stone with carved lettering, numbering and/or logos. The carving may be back painted for additional contrast.
- **Metal:** Cut metal, dimensional individual letters, numbers or logos displaying hand crafted qualities. Acceptable materials are brass, bronze, copper, or ferrous metal. Acceptable material finishes include oil rubbed dark bronze, black iron, or a shop applied natural patina finish. Additional colors may be allowed on a case by case basis. Metal signage is allowed to be back- or halo-lit.
- **Letters:** Channel letters, pierced or laser cut metal displaying lettering, number or logos. Acceptable materials are brass, bronze, copper, or ferrous metal. Plastic is allowed upon review and approval of proposed design. Acceptable metal finishes include oil rubbed, dark bronze, black iron or a shop applied natural patina finish. Internally lit or back lit plastic channel letters may be allowed on a case by case basis. Colors and design to be approved by the Town or their designee.
- **Painted Signage:** Hand painted lettering, numbers and/or logos on building facades, or hand painted lettering, numbers and/or logos on wood, metal, or fired ceramic tile background material.
- **Window and Awning Signage:** Hand painting of letters, numbers and/ or logos on window or storefront glazing or awnings is encouraged.

Refer to the Town of Westlake Ordinance 703, Section 12 for further information on signage in PD1-2.



Flags and Banners

Material:

- Material General: All material must be commercial grade, weather resistant and integral color nylon.
- Prohibitions: Non-commercial, hand painted flags, art work or banners

Dimensions:

- Relationship to the structure: Flag poles may not exceed the building height by more than 15 feet in a commercial use or 5 feet in a non-commercial use. A flag pole may not be taller than 45 feet. If a flag pole is mounted on a roof it may be 20 feet tall.

- Flag Size: Permitted flag sizes are as specified below determined by flag pole heights:

15'	3'x5'
20'	3'x5' - 4'x6'
25'	4'x6' - 5'x8'
30'	5'x8' - 6'x10'
35'	6'x10' - 8'x12'
40'	6'x10' - 10'x15'
45'	8'x12' - 10'x15'

- Banner Size: Generally banners are limited to a maximum size of 3 ft. wide X 5 ft. tall unless a larger size is approved by the Town. A banner may be no taller than 40% of the length of the pole structure upon which it is mounted unless approved by the Town.

Hardware:

- Building Mounted Vertical Poles: Ferrous Metal, in a finish permitted for decorative iron work, with external halyard system, mounted on a building roof or parapet, attachment hardware to compliment design and provide wind tested attachment mechanism.
- Grade Mounted Vertical Poles: Ferrous Metal, in a finish permitted for decorative metal work, external halyard system, engineered foundation design, accessory hardware to compliment design and provide wind tested attachment mechanism.
- Wall Mounted Poles: Ferrous Metal, in a finish permitted for decorative metal work, projecting from the wall, with wall attachment hardware to compliment design and provide wind tested attachment mechanism.
- Metal Frames: Rustic, wrought iron, tubular steel or aluminum, with or without welded or forged embellishment, bronze or black finish.
- Prohibitions: Aluminum, spun aluminum, concrete, or fiberglass poles are prohibited unless approved by the Town Manager or their designee for properties that are compatible with the intent of this guideline.

Articulation:

- Themes: Flags and banners may represent countries, sports teams, holiday traditions, community celebrations, special exhibitions, or other community supported activities.
- Placement: Flags and banners may be displayed by traditional Ferrous Metal, vertical flag poles at grade, mounted to non-residential buildings, or on non-residential building tops.
- Display Options: Flags and banners may be displayed by wall mounted diagonal or horizontal flag poles attached to building facades.

- Attachment to Poles: Flags and banners may be displayed from fixed pole or lighting elements by means of metal brackets or metal frames.
- Flat Banners: Flat wall mounted flags and banners must be displayed in a decorative metal frame.
- Prohibitions: Banners and flags that cover windows, doors or other wall openings. The display of banners and flags temporarily hung from balcony or stair rails. Flags and banners nailed or screwed directly to a building facade.

Address Numbers

Materials:

- Materials General: Ceramic tile with painted numbers or cast stone to be approved on a case by case basis.
- Durability: Tiles are required to be frost proof.

Location:

- Residential Visibility: Residential properties are required to have their address number visible from the street. Address tiles may be located on the structure or in the case of a home with a walled courtyard on the street, the address tiles may be mounted on the wall near the main entrance gate or on the mailbox or as directed by the fire marshal.
- Commercial Placement: Commercial structures address locations are at the discretion of the town fire marshal.

Mounting:

- Flush Mounting: Address number tiles are to be flush mounted into the surrounding wall.
- Mounting heights: Mounting height can vary from a minimum of 3 ft. above grade to a maximum of 8 ft. above grade or as proposed and approved by the fire marshal.

Dimensions:

- Height/ Width: Address tiles are required to be a minimum width of 3 in. and a minimum height of 6 in. per number or letter.
- Address numbers or letters are required to be 3.5 in. minimum in height.

Articulation:

- Contrast: Address number color and tile background color must be highly contrasting.
- Illumination: The illumination of residential and commercial addresses is encouraged. Internal and/or external illumination is allowed.
- Embellish: The inclusion of decorative painted borders on the tile in a compatible design style and finish is encouraged.

Site Enclosures

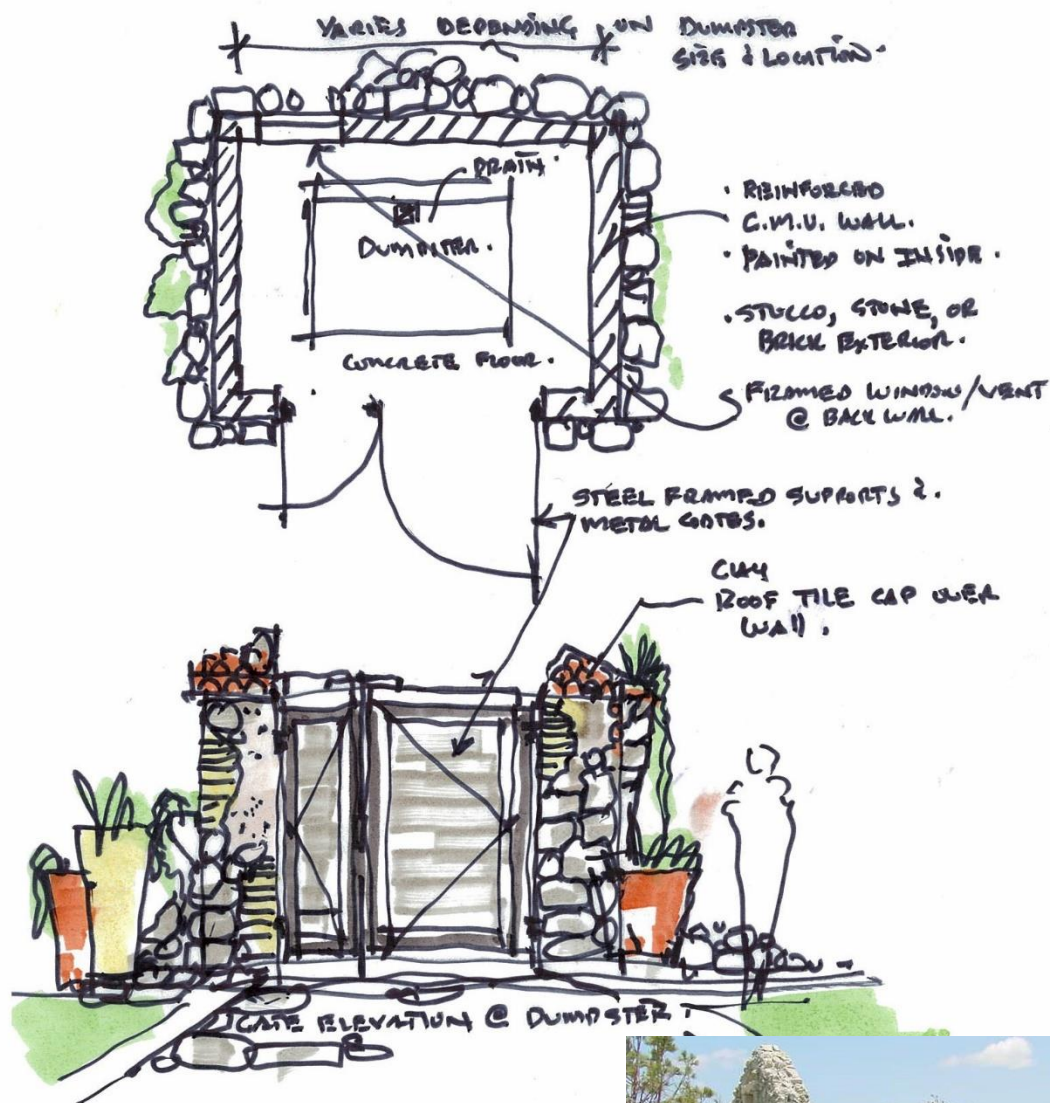
Site enclosures include all transformer, compactor, and dumpster enclosures. Dumpster enclosures will/shall vary depending on the container size and company associated with trash pick up.

Materials:

Site enclosures should resemble a composition of site and/or building remnants. Both the interior and exterior sides of site enclosures must be finished out with full natural stone. The interior of the enclosures are permitted to be thin set natural stone cladding.

Location:

All site enclosures should be located to ensure proper drainage.



FEE - SIMPLE RESIDENTIAL

Single Family Residences

Residential expansion in the Catalonian/European Village was not a “Land Development” led undertaking. Instead, it was a familial pursuit with each succeeding generation adding and building as necessary to house the expanding family unit. In architectural terms this is called “additive construction” and is particularly characteristic of Spanish culture where large families were more commonplace and a vertical family organization the norm. Therefore, the intricate village look with continuous residential structures defining a continuous frontage along narrow, winding streets is manifestation of a social structure and village community. Entrada, which aspires to deliver this same intricacy, is faced with the challenge of delivering it through a land development process where fee simple lots are created and sold. The Town has the authority to issue a permit for a design that meets standards and guidelines contained in Entrada’s zoning and any mutual agreements with the Land Developer. Therefore, Residential Development Guidelines are created herein for the purposes of directing the residential delivery system toward implementation of Entrada’s “European Village” vision. More specifically, these guidelines are:

Single Family Residences:

As stated above, the typical single family home in a Catalonian/European Village was not like the single family home one sees in Southlake or even Westlake. It was more like a town house but the familial structure was stronger than the lot structure. As a result different houses may have shared common spaces (such as a courtyard) and thereby add a level of intricacy and complexity to the built fabric that containment within a fee simple lot [will/shall](#) likely not give. However, viewing the individual home as part of a block and not simply as part of a lot provides a basis upon which to direct home design in a direction more compatible with the Catalonian/European archetype. Therefore, the guidelines of this section seek to describe the individual home in terms related to its contribution to the block.

General Definition and Conditions of a Single Family Land Use:

1. A single family home in Entrada may be attached, zero lot line, detached or a combination thereof as required to meet the Lot Occupancy and Block group requirements specified below.
2. Single family homes can share yard, courtyard, entry court, motor court space, or a mews across a property line or property lines.

Refer to the Town of Westlake Ordinance 703 for more information on Single Family Land Use.

Features of Lot Occupancy:

In the Catalonian/European Village, the residential structure is established relative to the street, the necessities of drainage, or other more utilitarian considerations more than being established relative to legal lot lines. In fact, the land was likely owned by the nobility and grants for use were given (usually at a high price) forcing more verticality in the structure form. This system of “land rents” still exists today, even in US cities like Baltimore, Maryland. Here land once owned by Lord Calvert eventually went to people who did not reside on the property. Today, every mortgage pays a ground rent to another person. The result was density, verticality, and continuity along the street.

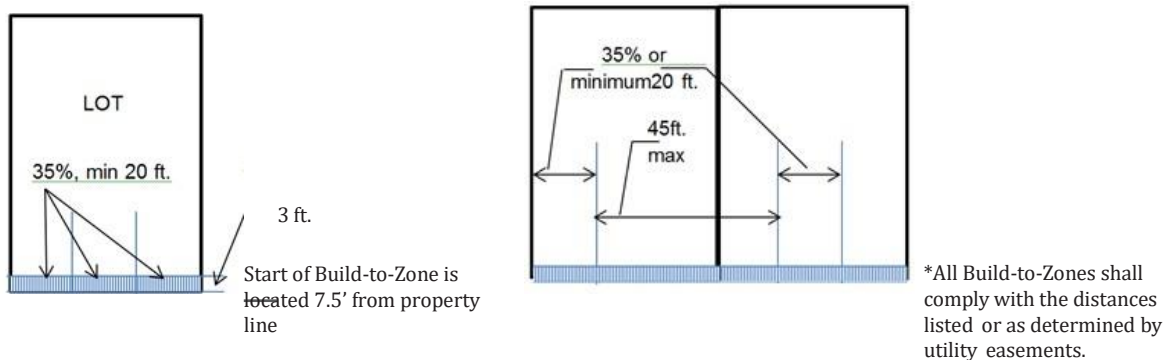
This all important relation between structure and street over the relation between structure and lot makes it necessary to advance guidelines which promote street fabric and complexity. This is called “Lot Occupancy”, meaning placement of the structure within the lot to establish a meaningful contribution to the street. There are three important street qualities to accomplish through this guideline. These are:

- **Street Complexity:** The suburban street is characterized by lot-to-lot repetition of dimensional zones (front yard, side yard, etc.). The result is a prevailing sameness that has become so characteristic of “suburban sprawl”. Further, house design serving speculative market needs tends to deliver an overall sameness to the distribution and architectural expression of house functions (such as the repetitive garage location). The guideline must promote a complexity that is typical of the Catalonian/European Village-scape.
- **Street Continuity:** A continuous street wall is an important element of the village street.
- **Street Interaction:** The communal nature of the village celebrates the street as a communal space. This is accomplished by occasional residential functions which come out to and/or are visible from the street.

Street Frontage: Bringing the structure to the street (the referenced Build-to Line) ~~will~~shall contribute to a more continuous street wall. Treatments of the Street Wall include:

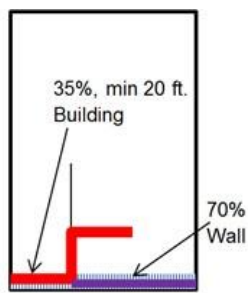
- 1. Setback:** No minimum but 35% of structure frontage shall be in the Front Yard "Build-to-Zone" as specified in the following section.
- 2. Streetscape:** 90% of the lot frontage must be residence (minimum 35%), or 6 ft. tall, minimum natural stone wall, including pedestrian and drive gate if applicable.
- 3. Penetrations in the Street Wall:** One gated pedestrian access is allowed on the street lot frontage and if said access is located within a freestanding wall, the width of the pedestrian opening shall not exceed the height of the wall in which the opening is located. In addition one gated drive court entry is permitted provided that the width of the entrance does not exceed 16 ft.
- 4. Driveway Placement:** Driveways must not abut at a common property line unless the drive is a shared driveway and does not exceed a combined 14 feet in width. Shared driveways are encouraged, but where not possible, driveways should be separated by 18". Where shared driveways serving interior motor courts are employed, the frontage wall and entry gate may be eliminated for the width of the drive.
- 5. Automotive Access:** One 20 ft. wide driveway for direct drive in garages with two carriage style doors, All other drives are limited to 12 feet wide from curb to entry gate.

1. Build-to-Zone: Typical front yards are comprised of passive land that usually stands between the street and house for purpose of protecting the home from street intrusions. The suburban front yard is a buffer not a connection. Therefore, it is desirable to bring the residential structure to the street. Each lot shall have a Front Yard Build-to-Zone, defined as the yard adjacent to the street the building is addressed. A minimum of 35% of any structure frontage built on a lot (but no less than 20 frontage feet) must be located within the Front Yard Build-to-Zone. The Build-to-Zone begins at a distance of 7.5' feet from the front property line. The distance between building frontage occupancy within the Front Yard Build-To Zone must not be greater than 45 feet. If a lot is sufficiently wide that this distance is exceeded within the lot, the length of frontage must be increased or additional structural frontage within the Front Yard Build-To Zone must be provided.

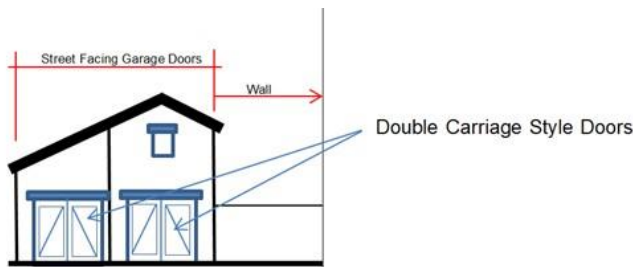


2. Walls in the Front Yard Build-to-Zone:

The remainder of any lot frontage that is not occupied by residence structure within the Front Yard Build-to-Zone must be finished with a stone frontage wall that is at least 6 feet tall. Such frontage walls may be eliminated for any portion of the residence structure frontage located within 3 feet of the wall.

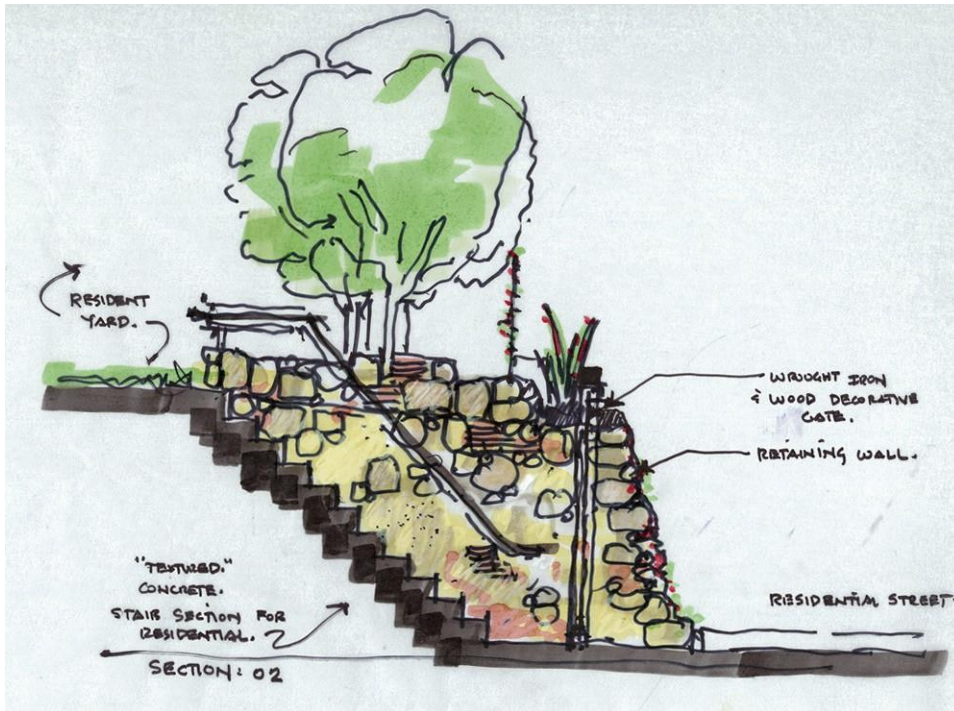
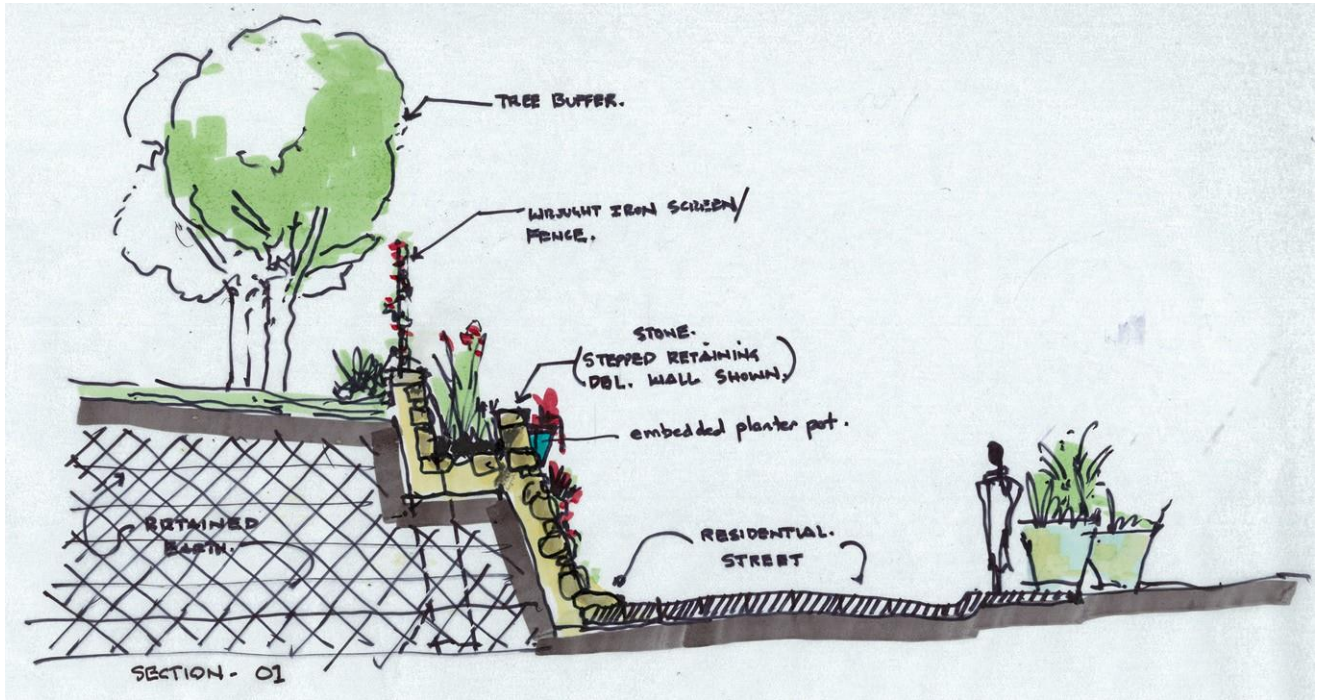


3. Garages in the Front Yard Build-to-Zone: Any garage located within the Front Yard Build-to-Zone with garage doors that are not screened by the frontage wall shall have two carriage style doors instead of a single double door. Double wide, single garage doors are prohibited in street view unless behind a wall or gate structure. J-swing garages are allowed and not required to be screened as they are not visible from the street.

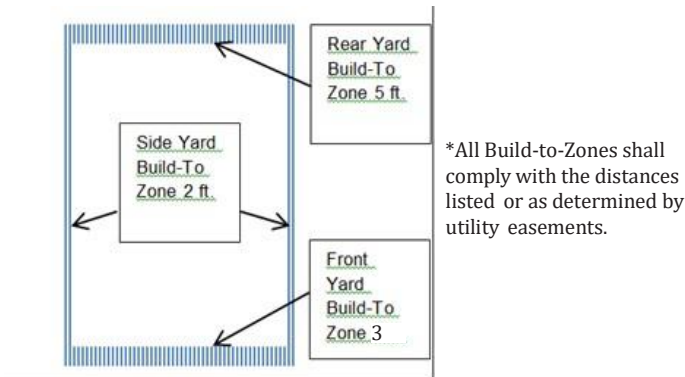


Rear Yards That Face a Street:

Due to grade differences, rear yards may be elevated above the street they face. Therefore, the retaining wall, if necessary, at the rear property line may become a significant street element.

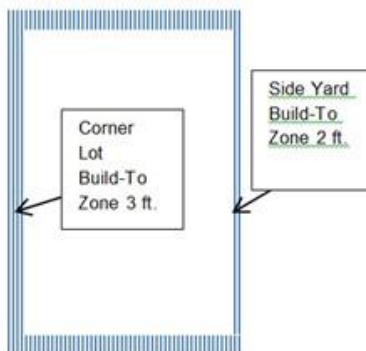


1. **Rear Yard Build-To Zone:** Each lot shall have a Rear Yard Build-to-Zone and a minimum of 35% (But no less than 20 Rear Yard Frontage Feet) of any structure built on a lot must be located within the Rear Yard Build-to-Zone. The Build-to-Zone lays between the Rear property line and distance 5 feet from the rear property line.
2. **Walls in the Rear Yard Build-to-Zone:** The remainder of any lot frontage that is not occupied by residence structure within the Rear Yard Build-to-zone must be finished with a stone frontage wall or iron fence with living hedge that is at least 42 inches tall where there is a retaining wall separating the lot from the street or 6 feet where there is no retaining wall. The wall shall not be set back from the rear property line or the top of retaining wall more than 1.5 feet or a distance determined by utility easements. Such frontage walls may be eliminated for any portion of the residence structure frontage located within 5 feet of the wall.
3. **Landscape in lieu of wall at the rear yard:** Up to 30% of the rear yard may be screened with landscape in lieu of an opaque wall. Landscape materials shall be evergreen and used in combination with evergreen understory to provide an effective screen.
4. **Pedestrian Access:** One gated pedestrian access is allowed on the rear street lot frontage and if said access is located within a freestanding wall, the width of the pedestrian opening shall not exceed the height of the wall in which the opening is located.
5. **Basement Garages:** Rear entry garages may be built at street grade in lieu of a continuous rear lot line retaining wall. If a garage is so located, it shall have two carriage style doors instead of a single double door. Double wide, single garage doors are prohibited in street view unless provided in a J-swing configuration.



Side Yards

1. **Setback:** No minimum. Subject to the block group standards.
2. **Streetscape:** Subject to the Block Corner standard stated below under Block Group, 100% of the side lot frontage must be residence in combination with a 6' tall minimum, natural stone wall and wrought iron fence with living hedge if it does not (in combination with other gates) exceed 30% of the side yard wall.
3. **Corner Lot Build-To-Zone:** Each lot shall have a Corner Side Yard Build-to-Zone and a minimum of 50% of any structure built on a lot must be located within the Corner Side Yard Build-to-Zone. The Build-to-Zone lays between the front property line and distance from the front property line determined by utility easements.
4. **Side Yard Build-To Zone:** Each lot shall have a Side Yard Build-To Zone at each side lot line and structural occupancy of this zone shall conform to the Block Group Standards specified below. Where side yards are directly adjacent to a neighboring structure, an additional wall in the Side Yard Build-to Zone is not required.
5. **Automotive Access:** Garages located within a Corner Side Yard Build-to-Zone with garage doors that are not screened by the side yard frontage wall shall have two carriage style doors instead of a single double wide single garage door. Single double wide garage doors are prohibited in street view unless behind a wall or gate structure.
6. **Pedestrian Access:** Any pedestrian access gate located in the corner side yard frontage may replace the need for such a gate in the front yard.



*All Build-to-Zones shall comply with the distances listed or as determined by utility easements.

Block Group Continuity:

- 1. Block Group Unit:** A Block Group is any set of 5 residences along a residential street. The street may have more than one Block Group. If the length of the street has more than one Block Group and the number of houses in the last group is less than 5, then the last homes are not governed by Block Group standards contained herein and are considered Villa lots.
- 2. Block Corner:** Any lot of a Block Group located at a street corner may have a zero side yard at the corner and the 25% lot Front Yard occupancy standard (stated above) may be accomplished at the frontage corner.
- 3. Building Mass Continuity:** At least 2 of the 6 side lot lines in a Block Group shall be a common wall line for attached residences or at least 3 of the 6 side lot lines in a Block Group shall be a zero lot line. This standard is satisfied if a minimum of 25% of the residence facing the side lot line shall be built to this zero or common lot line standard and such 25% must be located at the street frontage.
- 4. Side Yard Build-to-Zone:** At least 45% of a residence facing any side yard, not built to a zero lot line or common lot line shall be built within the Side Yard Build-to-Zone. A residence which already is building to the zero or common lot line standard only has to have 25% of the structure, facing the non-zero or non-common lot line, in conformance with this standard. The Side Yard Build-to-Zone lies from the side yard lot line to a distance 2 ft., or as determined by utility easements, from the side yard lot line.

Residential Exterior Entrances

Material:

- General: All entrance doors and frames are required to be wood or rustic wrought iron.
- Wood: Approved woods are Oak, Poplar, Alder, Cypress, Clear Pine, Clear Cedar, Cherry, Teak or Walnut.
- Wood Production: All units are milled lumber. All trim is milled lumber.
- Wood Prohibitions: Plywood, composite board, stamped metal, vinyl, or fiberglass
- Iron: Rustic, wrought iron appearance
- Iron Production: Frames constructed with structural tubular steel. All panels must be iron plate. All ironwork finishes will shall be oil rubbed bronze, dark bronze, or black iron.
- Iron Prohibitions: Polished brass and stainless steel finishes and pressed or formed steel doors that are meant to look like wood doors.

Dimensions

- Wood Frame Thickness: 1 3/4 in. minimum.
- Wood Panels: 3/4 in. minimum set in with an authentic sticking detail (no applied panels with offset applied trim). Panels can be butted boards set in a wood channel.
- Wood Stiles: 4 1/2 in. minimum
- Wood Top Rail: 4 1/2 in. minimum.
- Wood Bottom Rail: 7 1/2 in. minimum.
- Iron Frames: Flat bar plate with 1/4 in thickness minimum or structural tubular steel
- Iron Infill bars/ pickets: 1/2 in. minimum
- Iron Panels: 3/16 in. min thickness

Opacity

- Void to solid ratio: None specified

Articulation

- Wood Edges: All edges are routed or carved
- Surface: Planar, flat with visual expression of composing lumber units (such as butted vertical boards).
- Joints: Clear indication of connection such as visual expression of mortise and tendon and or mechanical/ wrought fastener/ rivet.
- Glazing: Glazing is limited to clear or seeded finish.

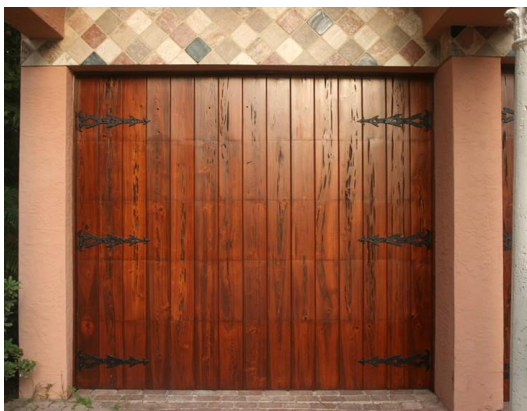
Residential- Exterior Garage Doors

Material:

- **Visible Face:** All visible faces of garage doors, in the closed position, are required to be wood. Approved woods are Western Red Cedar, Alder, Spanish Cedar, Cypress, Teak or Mahogany.
- **Face Production:** All units are milled or rough cut lumber, not plywood, composite board, vinyl or fiberglass. All trim is milled or rough cut lumber.
- **Prohibitions:** Composite wood, plywood, fiberglass and steel doors are prohibited unless employed as a structural carrier for the approved woods listed above.

Dimensions:

- **Thickness:** 1 3/8 in. minimum.
- **Panels:** 5/8 in. minimum set in with an authentic sticking detail. Panels can be butted boards set in a wood channel.
- **Stiles:** 3 1/2 in. minimum
- **Top Rail:** 3 1/2 in. minimum.
- **Bottom Rail:** 3 1/2 in. minimum.
- **Door Height:** 8 ft. minimum. If the door is arched, it may be 9 feet to the spring line of the arch.
- **Door Width:** 10 ft. maximum when the door is parallel to the public street.



Opacity:

- **Void to solid ratio:** Glazing is prohibited in garage doors when parallel to the public street.

Articulation:

Edges: All edges are routed or carved or rough cut

Surface: Planar, flat with visual expression of composing lumber units (such as butted vertical boards).

- **Joining:** Clear indication of connection such as visual expression of mortise and tendon and or mechanical/ wrought fastener/ rivet. Clear visual expression of gate leaf and the structure supporting it (such as cross bucks or frame).

Residential Exterior Door Hardware

Exterior Door Hardware is defined as passage sets, lock sets, locks, kick plates, pull handles, emergency exit bars, hinges, and sills associated with residential or commercial entrances as well as garage doors and commercial exterior service doors.

Materials:

- General Material: Ferrous metal (square or round section) cut to shape or cast metal.
- Surface: Rustic, wrought iron appearance
- Styling: Spanish and Arts and Crafts are appropriate design styles.
- Finish: All hardware finishes will/shall be oil rubbed, dark bronze or black iron or other natural patina finish.
- Thresholds: Thresholds are milled lumber, natural stone, cast stone, or dark bronze or black anodized metal.
- Prohibitions: Brass or bronze material; polished brass and stainless steel finishes.

Door Entry Sets:

- Handle: Doors must have a lever, large pulls or thumb latch operating systems.
- Back Plates: Minimum 8" high back plates are required with the operating system of choice.
- Prohibitions: Round knobs

Hinges:

- Hinge Type: The use of H-shaped hinges, butt hinges with decorative finials, or strap hinges is required if seen on the exterior.
- Prohibitions: If visible from the exterior, the use of butt hinges without decorative finials

Accessories:

- Door Knocker: Not required, but if installed it must be wrought iron in a compatible design style
- Grills: Not required, but if installed they must be a wrought iron "speakeasy"-type grille in a compatible design style and finish that protects the glazed opening.
- Metal Strapping: The use of decorative metal strapping, in a compatible design style and finish, is encouraged at the primary residential entrance.
- Decorative Elements: Decorative studs, antique nails, and door buttons in a compatible design style and finish are appropriate and permitted.
- Kick plates: Plates in a compatible design style and finish are permitted.

Residential Exterior Garage Door Hardware

Materials:

- General: Ferrous metal (square or round section) cut to shape or cast metal.
- Surface: Rustic, wrought iron appearance
- Styling: Spanish and Arts and Crafts are appropriate design styles.
- Finish: All hardware finishes will/shall be oil rubbed, dark bronze or black iron or other natural patina finish.
- Prohibitions: Brass or bronze material; polished brass and stainless steel finishes

Accessories:

- Placement of Door Pulls: At a minimum, one decorative, wrought iron door pull in a compatible design style is required at each garage door. If the styling of the door appears as two leaves, one pull for each leaf is required. Refer to Ornamental Ironwork for additional information.
- Metal Strapping: Wrought iron decorative metal strapping in a compatible design style and finish is required at all garage doors. At a minimum, four 18 in. straps are required per door.
- Decorative Elements: Decorative studs, antique nails, and door buttons in a compatible design style and finish are appropriate and permitted but not required.
- Kick Plates: Kick plates in a compatible design style and finish are permitted but not required